

AGENDA OF THE UTAH STATE BUILDING BOARD

Wednesday, June 4, 2014
Utah Developmental Center Auditorium
895 North 900 East
American Fork, UT
9:00 am

- (Action) 1. **Approval of Minutes of April 2, 2014** Tab 1
- (Action) 2. **Request for Approval of the Burns Arena Addition for Dixie State University** Tab 2
- (Action) 3. **Request for Approval of a Master Plan Update and Programming Study for the New Snow College Science Building in Ephraim** Tab 3
- (Action) 4. **Five Year Notice of Review and Statement of Continuation for Rule R23-23, Health Reform – Health Insurance Coverage in State Contracts -- Implementation** Tab 4
- (Action) 5. **Amendments to DFCM Rule 23-23, Health Reform -- Health Insurance Coverage in State Contracts – Implementation**..... Tab 5
- (Action) 6. **Amendments to DFCM Rule 23-22, General Procedures for Acquisition and Selling of Real Property**..... Tab 6
- (Action) 7. **Amendments to DFCM Rule 23-19, Facility Use Rule**..... Tab 7
- (Action) 8. **Request for Approval of Two Reallocations for the National Guard** Tab 8
- (Action) 9. **Request for Approval of Additional Capital Improvement Funding**..... Tab 9
- (Action) 10. **Request for Approval of Design and Construction of a Replacement Office Building for UDOT Perry Port of Entry** Tab 10
- (Action) 11. **Request for Approval of Design Phase for the Romney Stadium, West-side Renovations**..... Tab 11
- (Action) 12. **Request for Approval of the University of Utah, Enos Wall Mansion** Tab 12
- (Information) 13. **Informational Update for the Utah Developmental Center Infrastructure** Tab 13
- (Information) 14. **Administrative Reports for University of Utah and Utah State University** Tab 14
- (Information) 15. **Administrative Reports for Department of Transportation**..... Tab 15
- (Information) 16. **Administrative Reports for DFCM** Tab 16

The Board will adjourn for lunch, followed by a tour of the Developmental Center

Notice of Special Accommodation During Public Meetings - In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify Cee Cee Niederhauser 538-3261 (TDD 538-3696) at least three days prior to the meeting. *This information and all other Utah State Building Board information is available on DFCM web site at:*
<http://dfcm.utah.gov/dfcm/utah-state-building-board.html>



Gary R. Herbert
Governor

Utah State Building Board

4110 State Office Building
Salt Lake City, Utah 84114
Phone (801) 538-3018
Fax (801) 538-3267

MEMORANDUM

To: Utah State Building Board
From: Jeff Reddoor
Date: June 4, 2014
Subject: **Approval of Minutes of April 2, 2014**

Attached for your review and approval are the minutes of the April 2, 2014 Building Board meeting:

JR: cn
Attachments

Utah State Building Board



MEETING

April 2, 2014

MINUTES

Members in Attendance:

Ned Carnahan, Chair
David Fitzsimmons
Chip Nelson
David Tanner
Fred Hunsaker
Gordon Snow
Bob Fitch

Members Excused:

Kristen Cox, Ex-Officio

Guests in Attendance:

Matt Lund
Rich Amon
Dana Edwards
Jeff Reddoor
Alan Bachman
Bruce Whittington
Josh Haines
Jim Russell
Lee Fairbourn
Darrell Hunting
Tom Shaw
Kurt Baxter
Greg Stauffer
Ralph Hardy
Ben Berrett
Charles Darnell
Ken Nye
Ann Williamson
Mack McDonald
Paul Smith
Sherry Ruesch
Paul Morris

Governor's Office of Management and Budget
Department of Administrative Services
Department of Administrative Services
Utah State Building Board
Attorney General's Office
Division of Facilities Construction & Management
USHE
USHE
Utah State University
Utah State University
University of Utah
Department of Human Services
Department of Human Services
Department of Human Services
Dixie State University
Dixie State University

Malin Francis	Salt Lake Community College
Bob Askerlund	Salt Lake Community College
Tiger Funk	Southern Utah University
Jerry Jensen	Department of Corrections
Robyn Pearson	DNR
Darren Byrd	DNR
Jeff Palmer	Layton Construction
James Short	Sunrise Engineering
Brent Petersen	DATC
Paul Smith	Department of Human Services
Julie Attig	Reaveley Engineers
Linda Hansen	Ensign Engineering
Stephanie Ray	EDA Architects
Rick Stock	Wesco
Russ Bachmeier	FFKR Architects
Kerrie Kouncilis	MHTN

On Wednesday, April 2, 2014 the Utah State Building Board held a regularly scheduled meeting in Room 250 of the Utah State Capitol Building, in Salt Lake City, Utah. Chair Ned Carnahan called the meeting to order at 9:03 am.

☐ APPROVAL OF MINUTES OF FEBRUARY 5, 2014.

Chair Carnahan asked if there were any correction or additions to the minutes. There were none.

MOTION: Chip Nelson moved to approve the meeting minutes of February 5, 2014. The motion was seconded by David Tanner and passed unanimously.

☐ DHS DEVELOPMENTAL CENTER UPDATE

Ann Williamson, Executive Director of the Department of Human Services explained that the mission of the Utah Developmental Center is to ensure quality of life for all the citizens of Utah, particularly those whose family members have disabilities. The 2013 Master Plan focused on the needs of the Center and the opportunity to become a self-sustaining revenue source as they work to develop the north end of the property for the mission of the Division of Services for People with Disabilities. Thanks to the support from the Legislature and Governor Herbert, DHS will move forward with their durable housing project on the property. This project will allow the Developmental Center to almost double their client population by addressing the evolving needs of citizens, particularly the aging population of autistic citizens, who need to be kept safe, as well as experience the highest quality of life possible. In addition to these services, the Developmental Center will provide respite care, which will be considered in the design and development of the property. Gordon Snow addressed the concerns with the Department's request for assistance to repair or replace their infrastructure. He felt the original \$20 Million price tag was too high especially since there were only about 200 clients presently being served at the Developmental Center. In addition, the master plan shows that some of the aging

buildings would be demolished in the future. More recent figures show the estimate at about \$12 Million to repair the infrastructure. Director Williamson said that the campus has had very little infrastructure investment and attention to buildings since the 1930's. She realizes there are buildings that cannot be refurbished and reshaped to meet the mission of the center and should be demolished. DFCM Director Josh Haines said they are working with DHS to get the estimate lowered. However there are surprises sometimes with this type of work because you do not know what is buried there. DFCM is moving forward with repairs to a critical underground leak with an outflow of 700 gallons of water per hours. Jeff Reddoor indicated that the Developmental Center has been allotted \$1 Million to make repairs to the infrastructure. This amount, along with the \$500,000 funded by DHS is a start. In addition, there are emergency funds available should problems occur while making these critical repairs. Board members agreed that the goal was to fix the infrastructure system permanently but expressed concern about funding. In addition, they questioned whether the Developmental Center should modernize their heating and cooling systems in order to use taxpayer dollars efficiently. Josh Haines said that DFCM has recently worked with consultants to have the Developmental Center infrastructure analyzed. They are trying to determine the most cost effective solution before moving forward with this project in the future.

❑ REQUEST FOR APPROVAL OF THE BURNS NORTH ADDITION FOR DIXIE STATE UNIVERSITY

Paul Morris and Sherry Ruesch from Dixie State asked the Board for approval to construct a self-funded office building on their campus. Dixie State has seen tremendous growth in their student body which has required the University to hire an additional 100 full time employees over the past five years, requiring additional offices for faculty and staff. This office building is an addition to an existing facility that is currently served by a secondary plant on campus and will utilize the existing HVAC system. Construction will not involve removing any parking or having to relocate any major utilities in the area but will alleviate the crowded situation for office space on campus. In the future, Dixie plans to construct other wings to the building, creating four quadrants. Cost estimates are at \$2.4 Million for this 20,000 sf addition and they have received approval from their Board of Trustees and the Board of Regents. O&M for the lower east quadrant is in place and will be funded by the University for about \$35,000 from on ongoing sources. In order to build the other quadrants, Dixie will be looking for donations to help over the next few years. Gordon Snow questioned how funding was secured for this project. Mr. Morris indicated that Dixie State received payment up front from the School District for a 10 year lease of Dixie's Technology Building for future use by the high school. This payment, coupled with other funds accumulated over the years from various funds, added up to \$2.4 Million. Mr. Snow requested Dixie provide a full disclosure to DFCM of their funding sources including O&M monies. Alan Bachman said the default process for this approval is to go to the Utah Legislature. However the Legislature created an exception to the statute where under certain conditions the Building Board can authorize you to go forward with a project. Some of the conditions are that:

- 1) You have a plan in place for funding the project without any increase of state O&M funding
- 2) You are excluded from requesting state funds for immediate or future Capital Improvements.

- 3) You are consistent with the master plan, which I believe you previously addressed as not being adverse to the state.
- 4) And if it is approved, then you cannot request an increase in state funds for O&M for this project or Capital Improvement Funding.

Mr. Morris indicated that funding was in place to shell out the entire building and to finish the lower east quadrant. The other interior space will be finished over time for which they will be working to acquire donations. Ralph Hardy confirmed that the Regent's approval was based upon the statutory requirements as stated by Mr. Bachman, that Dixie not request O&M or ask for Capital Improvement Funding. Fred Hunsaker had concerns about O&M funding for the shelled out portion of the building which would be completed in the future and Mr. Morris assured the Board that this would be in place. There was considerable discussion concerning the demolition of the existing Safety Office, the costs involved in purchasing office equipment and furnishings which was excluded in the original estimate, the problems involving the separation of the portion of the building that is currently funded by State O&M, the lack of O&M for the building shell which will be completed in the future.

MOTION: **Gordon Snow moved to table the Request for Approval for the Burns North Addition for Dixie State University and asked that Dixie return at the next meeting with a prospectus or a white paper relative to the funding of this project. The motion was seconded by Fred Hunsaker.**

The motion passed with five votes in favor and one opposed.

Affirmative votes: **Chip Nelson** **Gordon Snow**
 Bob Fitch **Fred Hunsaker**
 David Tanner

Negative vote: **David Fitzsimmons**

Clarification was given to Dixie College that the Board was supportive of their project, however they would like more information concerning how Dixie will fund O&M for the building in its entirety or if they will seek Legislative approval for state O&M. Mr. Morris asked if they could have approval to hire an architect to do more work on the structure of the building but the motion was not amended to include this request.

☐ FIVE YEAR NOTICE OF REVIEW AND STATEMENT OF CONTINUATION FOR RULE R23-3 PLANNING AND PROGRAMMING FOR CAPITAL PROJECTS

Alan Bachman requested that the Board approve this Notice of Review and Statement of Continuation so that this rule will not be dropped from the Administrative Rules list for another five years. This rule may be revised, edited or refined sometimes in the future, but for now Mr. Bachman is requesting that this rule stay on the books.

MOTION: **David Tanner moved for approval of the Five Year Notice of Review and Statement of Continuation for Rule R23-3 Planning and Programming for Capital Projects and added that the rule return next month to the Board for questions and review. The motion was seconded by Bob Fitch and passed**

unanimously.

Jeff Reddoor added that this particular rule would be included in the Administrative Rules discussion at the Business Meeting that afternoon.

☐ FIVE YEAR NOTICE OF REVIEW AND STATEMENT OF CONTINUATION FOR RULE R23-29 ACROSS THE BOARD DELEGATON

Alan Bachman requested that this is like the previous request. The Board needs to approve this Notice of Review and Statement of Continuation so that this rule will not be dropped from the Administrative Rules list for another five years. This rule has been revised and approval will be sought for the amendments to this rule in agenda item #6 today. The Division of Administrative Rules has requested that these two items – the Statement of Continuation and the Amendments -- be filed together.

MOTION: David Tanner moved for approval of the Five Year Notice of Review and Statement of Continuation for Rule R23-29 Across the Board Delegation. The motion was seconded by David Fitzsimmons and passed unanimously.

☐ AMENDMENTS TO DFCM RULE R23-29 ACROSS THE BOARD DELEGATON

Alan Bachman expressed appreciation to Ken Nye from the University of Utah for his input to the revision for this rule. The major intent of this rule revision was to codify current processes and to make the rule properly expresses current operations. The rule is outdated, had incorrect terms of delegation amounts and inaccurate definitions of processes which have now been corrected. Jeff Reddoor expressed appreciation for the cooperation of various institutions and agencies during the process. This rule also gives UDOT delegation authority and requires that they report to the Board every month on their delegated projects. Alan Bachman clarified he is seeking authorization to file this amendment to the rule and if there aren't any negative comments, as a result of that filing during the 30 day comment period, then he would ask that he be allowed to make the rule effective without bringing it back to the Board as another agenda item. Mr. Bachman also explained that the rule name will be changed to Delegation of Project Management because the rule actually expands delegation and allows partnering agreements with agencies as well. Mr. Bachman explained that requests for delegation amounts over \$250,000.00 (which would involve, UofU, USU and UDOT) would have to come back to the Board for approval.

MOTION: David Tanner moved for approval of the Amendments to DFCM Rule R23-29 Across the Board Delegation and specified that if there aren't any negative comments as a result of that filing during the 30 day comment period, then the rule be made effective without bringing it back to the Board. The motion was seconded by Chip Nelson and passed unanimously.

☐ INFORMATION ON DNR PROJECTS IN RICHFIELD AND CEDAR CITY

Robyn Pearson and Darin Bird, Deputy Directors for the Department of Natural Resources

addressed the Board for this informational item. Mr. Pearson explained that they have two projects to report on – one in Richfield and another in Cedar City. They are partnering with DFCM on these projects with Project Manager, Kurt Baxter. During the 2012 General Legislative Session, HB 2 stipulated that DNR and Sitla work with DFCM to identify a location for a future regional office in Richfield. The Legislature further intended that an economic analysis of the project will be performed and the results will be reported to the Natural Resource Committee. That economic analysis took the existing rents they were paying in Richfield, and translated it to an O&M and a debt service repayment schedule for this project. Sitla will be occupying approximately 1/3 of the building and also helping to retire the debt. The Department of Natural Resources will own the building once the debt is paid in full. DNR has built this particular building twice before and used the same economic model – that is taking the rents and O&M that they were paying and translating those dollars to pay the debt on the building. Their goal has been to avoid paying unnecessary rent and to co-locate all of their divisions into regional centers so they can provide better service to customers.

In Cedar City, DNR presently occupies a building that is owned by Iron County and located adjacent to Iron Mission State Park. There is also a building at the mouth of Fiddler's Canyon that the county owns as well as another building. They have met with the county commissioners and they are supportive of this project. Forestry, Fire and State Lands in Cedar City rents property in a kind of strip mall on the north end of town and they park their equipment just where they can. The new facility in Cedar City will partner with the Division of Forestry, Fire and State Lands. DNR will use the same building plans used at their Vernal and Price facilities which will provide design savings and reduced O&M costs because of energy efficiencies. After the completion of this project, DNR will have four building that are basically carbon copies of one another.

RELOCATION OF FUNDS FOR DFCM HAZARDOUS MATERIALS PROGRAM

DFCM Director Joshua Haines explained that the state has experienced a significant increase in the number of hazardous material projects due to significant storms in the southern Utah region which has resulted in multiple mold issues. As a result of this increase there is a shortfall in the budget for the Hazmat Material's Program. Mr. Haines requested that \$510,000.00 from the Capital Improvement Project Reserve Fund be reallocated to the DFCM Hazmat Program.

MOTION: David Fitzsimmons moved for approval of the Reallocation of Funds from the Capital Improvement Project Reserve Fund to the DFCM Hazardous Materials Program. The motion was seconded by Fred Hunsaker and passed unanimously.

FINAL APPROVAL OF FY2015 CAPITAL IMPROVEMENT LIST

Board members expressed appreciation to Jeff Reddoor for his work on the Capital Improvement List. Mr. Reddoor brought a few items to the attention of the Board.

- 1) The Legislature awarded \$744,000.00 of Capital Improvement funds to the Department of Agriculture for the Nephi Veterinary Building. These funds are to be repaid to the Capital Improvement Fund by the Agency.

- 2) The University of Utah's request to bond for their infrastructure project was approved with the provision that their \$1.5 Million share of Capital Improvement money go to address the debt service of the bond. This is included in the budget.
- 3) The amount of \$300,000.00 was awarded to the DFCM Energy Group to allow them to continue with their loans for the State Facility Energy Efficiency Fund.
- 4) The Utah State Fairpark was given \$5 Million off the top of the Capital Improvement List for replacement or repair of their three barns that were condemned on the property. An additional \$1 Million has been recommended for the Fairpark. There have been questions about whether this amount should be held until after DFCM has completed the master plan on the property as mandated by the Legislature.

In addition, the Legislature did not approve the \$6.75 Million for infrastructure at the Utah Developmental Center. This \$6.75 Million was returned to the Capital Improvement Fund and distributed to other projects. A total of \$98,673,370.00 allocated for projects during FY2015 for a total of 315 projects. There is currently \$1.5 Million left in the budget and will be allocated for other high priority projects identified in the future.

MOTION: Gordon Snow moved for Final Approval of the FY2015 Capital Improvement List and to table \$1 Million of the fund until the Master Plan is completed for the Fairpark. The motion was seconded by Fred Hunsaker and passed unanimously.

☐ ADMINISTRATIVE REPORTS FOR UNIVERSITY OF UTAH AND UTAH STATE UNIVERSITY.

Ken Nye from the University of Utah reported they had five professional contracts and twenty construction contracts issued during this reporting period. There were two projects drawing funds from the Contingency Reserve with no changes in the Project Reserve Fund.

Ben Berrett from Utah State University highlighted a few of their current projects which included some renovation work at the USU Tooele Building resulting in some design services, and a renovation of a 4-story housing building on the north end of campus. Mr. Berrett reported that over the past two years they have invested funds to update controls and safety devices for elevators on campus. Page 4 shows the Contingency Reserve with decreases for Miscellaneous Critical Improvements FY13, which was for stairway lighting and correct subsurface drainage for \$10,118.84, and the Kent Concert Hall Entry Replacement consisting of a fire alarm annunciator in the entry and roof drain modification revised construction drawings for \$47,407.00. The balance in the Contingency Fund is \$438,745.86 and the Project Reserve Fund is \$374,161.43, which are both in good order.

☐ ADMINISTRATIVE REPORT FOR DFCM

DFCM Director, Josh Haines reported DFCM returned \$5 Million from the Project Reserve and \$3 Million from the Contingency Fund to the Legislature. They have issued numerous contracts this reporting period which include eighteen design agreements and nine planning/study/other agreements. In addition, there were 34 construction contracts awarded. Currently there is

about \$5,981,000.00 in the Development Contingency and another \$5,664,000.00 in Improvements. The Project Reserve Fund for Development is at \$6.6 Million with \$5.8 Million in the Project Improvement Fund. Notable was Ogden Courthouse which had a draw for \$2.4 Million. The DFCM Planning fund has a balance of \$685,000.00 but will see decreases to the fund in the future due to master plans due for completed soon. DFCM previously made adjustments to the Roofing Fund which would reflect the five year average for the fund and help supplement Capital Improvements also. Mr. Haines informed the Board that this year all improvement projects will require that a schedule be put in place and agencies will sign off on these schedules. Part of the performance rating for Project Managers will be based on whether they are able to maintain the schedules instituted. DFCM is also working with the ABC-AIA-AGC and ACEC in committees to review all of their procedures. Jim Russell will report to the Board in approximately one month on some of the changes implemented. DFCM is also trying to tighten the CBE cost estimates so that funding can go further in hopes of funding additional projects.

❑ FUTURE AGENDA ITEMS

Chair Carnahan stated that Dixie State University and the Fairpark issue would be on the agenda for the May meeting. He reminded the Board that they would meet for lunch at 11:30 am in the Olmstead Room and then reconvene in Room 4112 of the Utah State Office Building for the business portion of the meeting.

❑ ADJOURNMENT

MOTION: Dave Tanner moved to adjourn the meeting. The motion was seconded by David Fitzsimmons and passed unanimously.

The meeting adjourned at 11:18 am.

At 11:30 am Board members met for lunch in the Olmstead Room located in the Senate Building. Following lunch, the Board reconvened at 1:00 pm for their Business Meeting in 4112 State Office Building.

Members in Attendance:

Ned Carnahan, Chair
David Fitzsimmons
Chip Nelson
David Tanner
Fred Hunsaker
Gordon Snow
Bob Fitch

Members Excused:

Kristen Cox, Ex-Officio

Guests in Attendance:

Matt Lund
Rich Amon
Dana Miller

Governor's Office of Management and Budget
Department of Administrative Services
Department of Administrative Services

Jeff Reddoor	Utah State Building Board
Alan Bachman	Attorney General's Office
Bruce Whittington	Division of Facilities Construction & Management
Josh Haines	Division of Facilities Construction & Management
Jim Russell	Division of Facilities Construction & Management
Ralph Hardy	USHE
Ben Berrett	Utah State University
Charles Darnell	Utah State University
Ken Nye	University of Utah
Doug Christensen	BYU

☐ NEW PROCUREMENT AND ETHICS CODE DISCUSSION

Alan Bachman referenced the Governor's Handbook of Board and Commissions including the Ethics Act and Conflicts of Interest. In addition, there were some new procurement laws enacted and signed by Governor Herbert two days ago (Senate Bill 179) which would apply if Board members were to be on an evaluation committee or actually participate in a procurement. During this portion of the meeting, Board members signed the Ethics and Conflicts Certification. Mr. Bachman counseled Board members that if there is an agenda item that they or family member are close to in any way, then they should refrain from voting on this issue so that there is not the slightest hint of impropriety.

☐ LEGISLATIVE UPDATES AND BILLS THAT EFFECT THE BOARD

Jeff Reddoor reported on the development projects that were funded during this Legislative session. Seven of the eight projects recommended by the Board were funded:

- Weber State University
- Southwest Applied Technology College
- The Utah National Guard Infrastructure
- The Huntsman Cancer Institute
- Department of Human Services Durable Housing
- Utah State University Eastern in Price and Brigham City
- CUCF Prison in Gunnison

Not funded this year was the Unified State Lab.

Land Banking approvals included:

- Dixie State University East Elementary Property
- Utah Courts Property in Duchesne

Non-State Funded Projects approvals included:

- University of Utah Alumni House
- University of Utah Lassonde Living Center
- University of Utah Utility Distribution and Infrastructure Replacement
- Department of Public Safety Building in Uintah Basin
- Mountainland Applied Technology College Trades Building

Utah State University increase of \$1.8 Million for the Tooele Science Building
Southern Utah University Center for the Arts

There were also other small items that were funded this session. This was a very successful session – totaling approximately \$550,000,000 in development projects. In addition Capital Improvements were funded at 1.1%.

❑ DISCUSSION OF ADMINISTRATIVE RULES CONCERNING THE BUILDING BOARD AND POSSIBLE NEW RULES FOR PHASED FUNDING, O&M, AND AUXILLARY DEFINITION

The Legislature created a separation between DFCM and the Building Board. This change will go into effect July 1, 2014. The Board will be under the direction of the Executive Director's Office of the Department of Administrative Services and have their own budget of \$900,000.00 per year which pays for travel and per diems for Board members as well as the Building Board staff and operation expenses. Funding for an additional Facility Maintenance Auditor position was approved along with another state vehicle this year.

There was discussion concerning Senate Bill 172 which prohibits the Legislature from funding the programming, design, and construction of a new building or facility in phases over more than one year unless the Legislature has approved each phase of the funding for the construction of the new building or facility by the affirmative vote of two-thirds of all the members elected to each house. Board members voiced concerns that larger agencies and institutions, who have larger budgets, would have their programming completed before coming to the Legislature and thus be in the "pipeline" for funding. Jeff Reddoor asked if the Board wanted to clarify by policy or rule in regard to phased funding. Members of the Board indicated that an Administrative Rule clarifying the Board's position on phased funding should be considered.

There was discussion concerning Administrative Rule R23-3 which requires a master plan be completed for institutions and agencies and be approved by the Building Board. The rule doesn't clarify how frequently the master plan should be reviewed. Alan Bachman explained to the group that he felt this rule was outdated. Years ago, DFCM actually had a Planning Division that worked with agencies and institutions on their master plans. This part of DFCM no longer exists. The Board suggested that when new projects are brought forward for the Board's approval they should always show their master plan on the projector screen and indicate how this new structure fits into their plan. Mr. Bachman indicated that R23-3 will be carefully scrutinize and revised in the future so that it does not conflict with Senate Bill 172.

❑ STATEWIDE INFRASTRUCTURE DISCUSSION

The Building Board has been charged with coming up with developing a definition for the term "state-wide infrastructure". There is a great deal of confusing about how broad this term is which could include by definition utility distribution systems, electrical, water, sewer, IT infrastructure, or hardscapes such as curb, gutter, roads, or anything else that is 25 feet from the building. Rather than have Board members return with several independent definitions, it

was suggested that DFCM review High Ed's definition of infrastructure as presented last year and use this as a basis for developing their definition.

❑ O&M DISCUSSION

Chip Nelson expressed concern with the way O&M was assigned by the Legislature. The amount allocated for O&M does not increase as a building ages. Of course a 30 year old building is going to cost a lot more to maintain than a newer building and there are no allowances for inflation. Mr. Nelson stated this was a counter intuitive way of operation and maintenance and felt the process should be changed. Jeff Reddoor suggested that over the next few months the Board would look to develop a better way to assign O&M funding.

❑ TCO -- TOTAL COST OF OWNERSHIP DISCUSSION WITH DOUG CHRISTENSEN

Doug Christensen introduced the Board to the definition of Total Cost of Ownership which is a financial estimate intended to help building owners determine the direct and indirect costs of the operation and maintenance of their building over its life time. There are three decisions used in this process: 1) Life Cycle, 2) Useful Life, and 3) Investment Life. Mr. Christensen pointed out that situations have changed in the industry. Previously an organization always had employee experts who possessed extensive institutional knowledge concerning their buildings and who could be used as a resource for this type of information. These types of long-term employees are going away. TCO transfers all information about a building and its operating systems thus making it easier to maintain.

❑ 2014 SCHEDULE, FUTURE MEETINGS AND BUILDING BOARD TOUR DATES

Jeff Reddoor distributed copies of the Building Board Meeting Schedule as well as the Maintenance Standards for State Buildings. Board members discussed the Capital Development Tour for the week of August 18-22. Traditionally the Board has visited the northern and southern areas of the state on alternate years; however Board members felt this did not work well or allow first-hand knowledge of all upcoming projects. Dave Tanner suggested that the Board look at the Five Year Book to determine the most critical projects for next year. Chip Nelson suggested the Board fly down to St. George, spend the night; travel northward to Logan and back to the Salt Lake area, visiting as many locations as possible. In order to accommodate this suggestion, it was decided that the Board would hold their monthly meetings at various agencies and institutions and tour those locations after the meetings. The June meeting will be held at the State Fairpark in Salt Lake and the July meeting will be held at the Utah State Developmental Center in American Fork. Mr. Reddoor said he is currently working on a submittal form for the Board's agenda which will provide standard information for items requesting placement on the agenda. Chair Carnahan commended Mr. Reddoor for his efforts in providing information to the Board to support their decision making processes.

❑ ADJOURNMENT

The meeting adjourned at 2:43 pm



Gary R. Herbert
Governor

Utah State Building Board

4110 State Office Building
Salt Lake City, Utah 84114
Phone (801) 538-3018
Fax (801) 538-3267

MEMORANDUM

To: Utah State Building Board
From: Jeff Reddoor
Date: June 4, 2014
Subject: **Request for Approval of the Burns Arena Addition for Dixie State University**
Presenter: Paul Morris, Vice President of Administrative Services

Recommendation

I recommend the Board hear the request from Dixie State University for the design and construction of the Burns North Addition for Dixie State University. This is an estimated 2.4 million dollar project which will not require state funding.

Background

Dixie State previous brought this item to the Board during the April 2, 2014 meeting. During the discussion, Gordon Snow moved to table the Request and asked that Dixie return at the next meeting with a prospectus or a white paper relative to the funding of this project. As requested, Dixie has returned with additional information to present to the Board regarding their ability to finance this structure as well as provide O&M for the life of the building.

JR: cn
Attachments

Sherry J. Ruesch
Executive Director of Campus Services
Phone: 435-652-7562
Email: Ruesch@dixie.edu

May 16, 2014

Jeff Reddoor
Capital Planning & Budget
Utah State Building Board
4110 State Office Building
Salt Lake City, Utah 84114

Dear Mr. Reddoor,

Purpose: Memo for Non State funded Capitol Development Projects
Dixie State University (DSU) will return to the Utah State Building Board on June 4th to request approval to construct an office building addition to the North-end of the Burns Arena. The purpose of this memorandum is to provide additional funding information relative to the project.

Background

During the April Building Board meeting, several funding questions arose relative to the source of construction, operation & maintenance, maintenance reserves, and furniture, fixtures & equipment. The following funding information should answer those questions as well as cover the questions in the Building Board Agenda Request.

- Furniture & Fixtures
 - Furniture from Demolished Facilities
 - Non-Appropriated Plant Funds (If needed)

Request item 6(A): State funds will not be used for the design or construction of the facility

- Construction Funds (\$2.4 M One-time)
 - Technology Building Lease Revenue
 - Non-Appropriated Plant Funds
 - Non-Appropriated Excess Reserves

Request item 6(B): A plan for funding that will not require funds for operations and maintenance or future improvements.

- Operations & Maintenance (\$140K On-going)
 - Parking Services Revenue
- Maintenance Reserves (\$20K On-going) to cover any future improvement needs.
 - Parking Services Revenue

Question from the Board: What has DSU Parking Services revenue been used for in the past?

Answer: Parking Services revenue has been used to provide a small amount of funding to Campus Security, Cashiering, and Campus Recreation. The use of Parking Services revenue for these purposes evolved over the years to help cover costs related to the collection of the revenue and to solve other funding issues. However, about a year ago, the duties justifying the departmental receipt of most of the Parking Services revenue were, for internal control reasons, moved to other departments.

Question from the Board: Is the use of Parking Services revenue a good long-term financial solution for O&M and for the accumulation of maintenance reserves?

Answer: *DSU will dedicate Parking Services revenue to O&M and maintenance reserves long-term to ensure the future operation of the Burns Arena Office Addition. The need for office space on campus to accommodate a growing faculty and staff (approximately 20 new employee positions funded for hire beginning July 1st 2014) justify the long-term use of the funds. Should the Building Board recommend DSU seek State Funding for O&M after construction of the office addition, DSU would be appreciative of that recommendation (DSU understands the Building Board is researching the possibility). However, DSU also understands that the legislature may not be inclined to fund the request for State funded O&M on the project and therefore DSU has identified and is prepared to dedicate non-state funds (Parking Services Revenue) to the operation and maintenance of the addition.*

Question from the Board: Is the Parking Services funding used to maintain parking lots at DSU?

Answer: *DSU does not utilize Parking Services Revenue to maintain parking lots on campus. DSU campus parking lots have traditionally been maintained with general plant funds and capital improvement funds.*

Request item 6(C): The proposed project is consistent with the master plan.

- A copy of the current 2014 Campus Master Plan is attached. The addition is shown on the master plan as item #2.

Request item 6(D): Describe the benefits of the proposed facility and any adverse impact to the State of Utah.

- The proposed two story design will result in the addition of approximately 18,000 of needed office space. Our recent growth as resulted in the addition of a significant number of faculty and staff. In our attempt to provide offices for these recent hires, the existing office space on campus has been over-subscribed and makeshift offices have been created in many areas.
- The Human Resources and Campus Security departments will be housed in the lower-level East quadrant of the Burns North Addition. Currently the Human Resources offices are spread to three different campus buildings. The existing Campus Security offices are located in an old real estate trailer and this facility is deteriorating.
- This project offer the following advantages:
 - a. 18,000 Square Feet of needed office space
 - b. Natural light, with windows in most offices
 - c. Central location with street access and ample adjacent parking
 - d. No loss of green or parking space
 - e. Improved curb appeal of North entrance to Burns Arena
 - f. Provides flexibility to relocate other campus departments
 - g. Demolition of Campus Security Building

Additional drawings and a site picture have also been provided for your review. Please consider Dixie State University's request to build this needed facility.

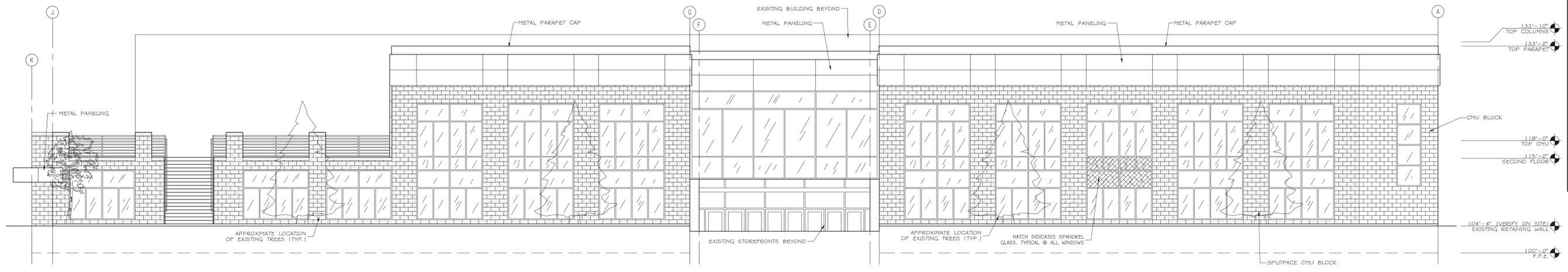
Sincerely,

Sherry J. Ruesch
Executive Director of Campus Services

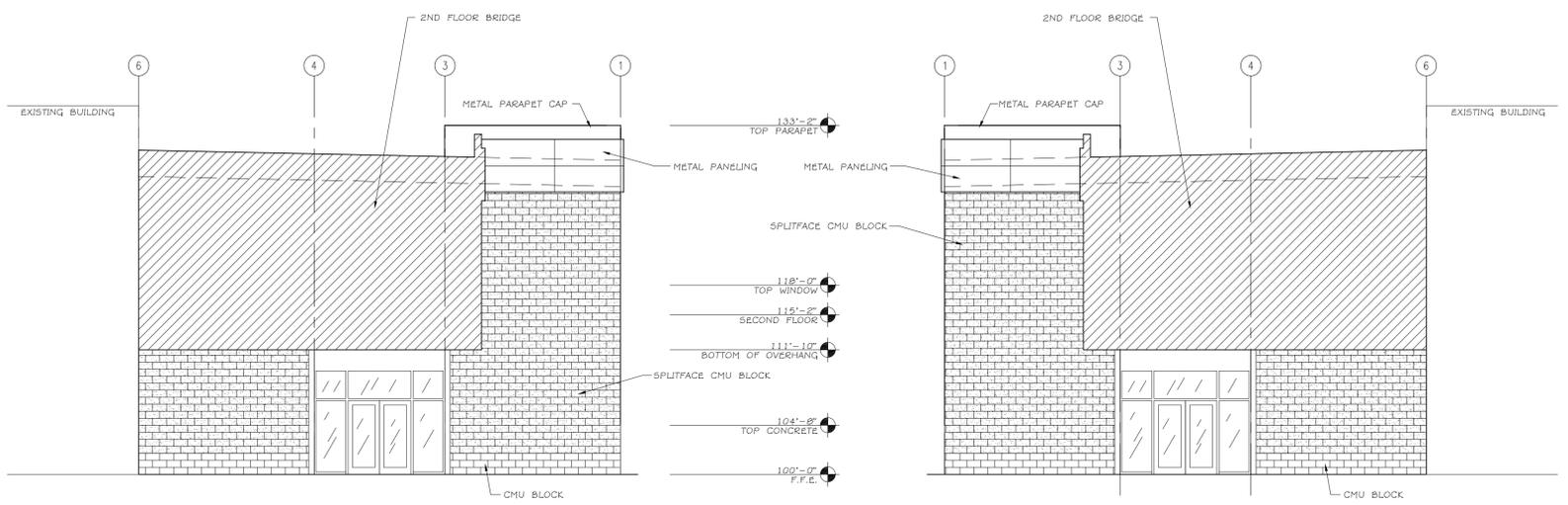
Capital Development Projects

Capital Budget Estimate (CBE)

Project Name:		Burns Arena Addition	
Agency/Institution:		Dixie State College	
Project Manager:		Kurt Baxter	
Cost Summary			
	\$ Amount	Cost Per SF	Notes
Facility Cost	\$ 2,134,771	\$99.29	
Utility Fee Cost	\$ -	\$0.00	
Additional Construction Cost	\$ -	\$0.00	
Site Cost	\$ 10,076	\$0.47	
High Performance Building	\$ -	\$0.00	
Total Construction Cost	\$ 2,144,847	\$99.76	
Soft Costs:			
Hazardous Materials	\$ -		
Pre-Design/Planning	\$ -		
Design	\$ 75,362		
Property Acquisition	\$ -		
Furnishings & Equipment	\$ -		
Information Technology:	\$ 3,422		
Utah Art (1% of Construction Budget)	\$ -		
Testing & Inspection	\$ 16,319		
Contingency	\$ 125,700		
Moving/Occupancy	\$ -		
Builder's Risk Insurance (0.15% of Construction Budget)	\$ 3,217		
Legal Services (0.1% of Construction Budget)	\$ 2,145		
DFCM Management	\$ 21,488		
User Fees	\$ -		
Commissioning	\$ 7,500		
Other Costs	\$ -		
Total Soft Costs	\$ 255,153	\$11.87	
TOTAL PROJECT COST			
	\$ 2,400,000	\$111.63	
Previous Funding			
	\$ -		
Other Funding Sources (Identify in note)			
	\$ 2,400,000		
REQUEST FOR STATE FUNDING			
	\$ 0		
Project Information			
Gross Square Feet	21,500	Base Cost Date	31-Mar-14
Net Square Feet	15,000	Estimated Bid Date	1-Jul-14
Net/Gross Ratio	70%	Est. Completion Date	1-Feb-15
		Last Modified Date	31-Mar-14
		Print Date	5/28/2014

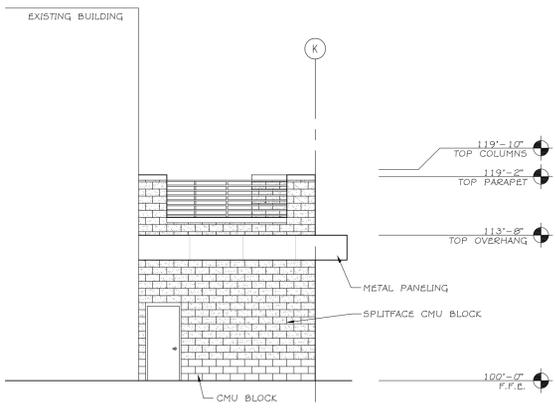


NORTH ELEVATION
SCALE: 1/8" = 1'

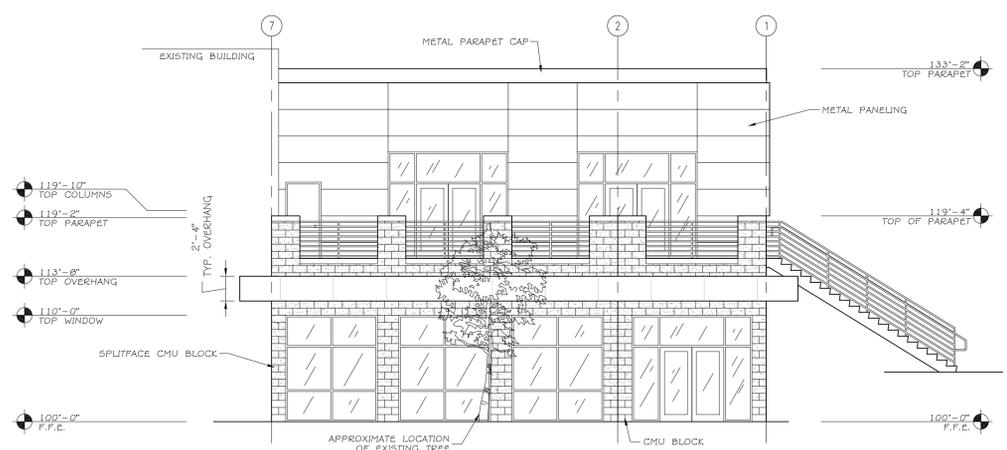


VESTIBULE EAST ELEVATION
SCALE: 1/8" = 1'

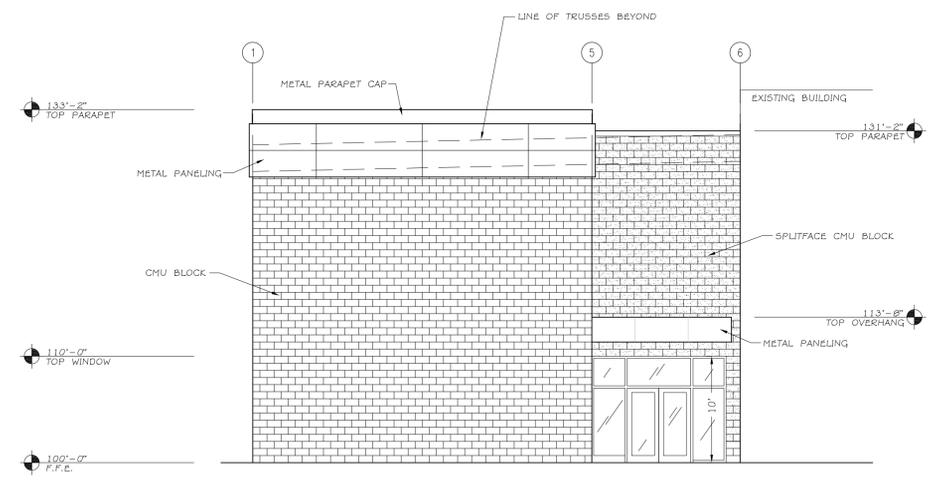
VESTIBULE WEST ELEVATION
SCALE: 1/8" = 1'



SOUTH ELEVATION
SCALE: 1/8" = 1'



EAST ELEVATION
SCALE: 1/8" = 1'



WEST ELEVATION
SCALE: 1/8" = 1'

12/23/2013. DATE:
JOB NUMBER:
1/8" = 1'-0" SCALE:
D.R.W. DRAWN:
G.M. CHECKED:
COPYRIGHT 2013, MRW DESIGN ASSOCIATES INC.



DESIGN ASSOCIATES INC.
ARCHITECTURE & CONSULTING ENGINEERS

251 W. HILTON DR # 202
P.O. BOX 2775
ST. GEORGE UTAH 84770
(435) 628-2377 (435) 673-3580 fax
www.mrwdesign.com

ELEVATIONS
DIXIE STATE COLLEGE
BURNS ARENA ADDITION
ST. GEORGE UTAH

Existing Main Campus



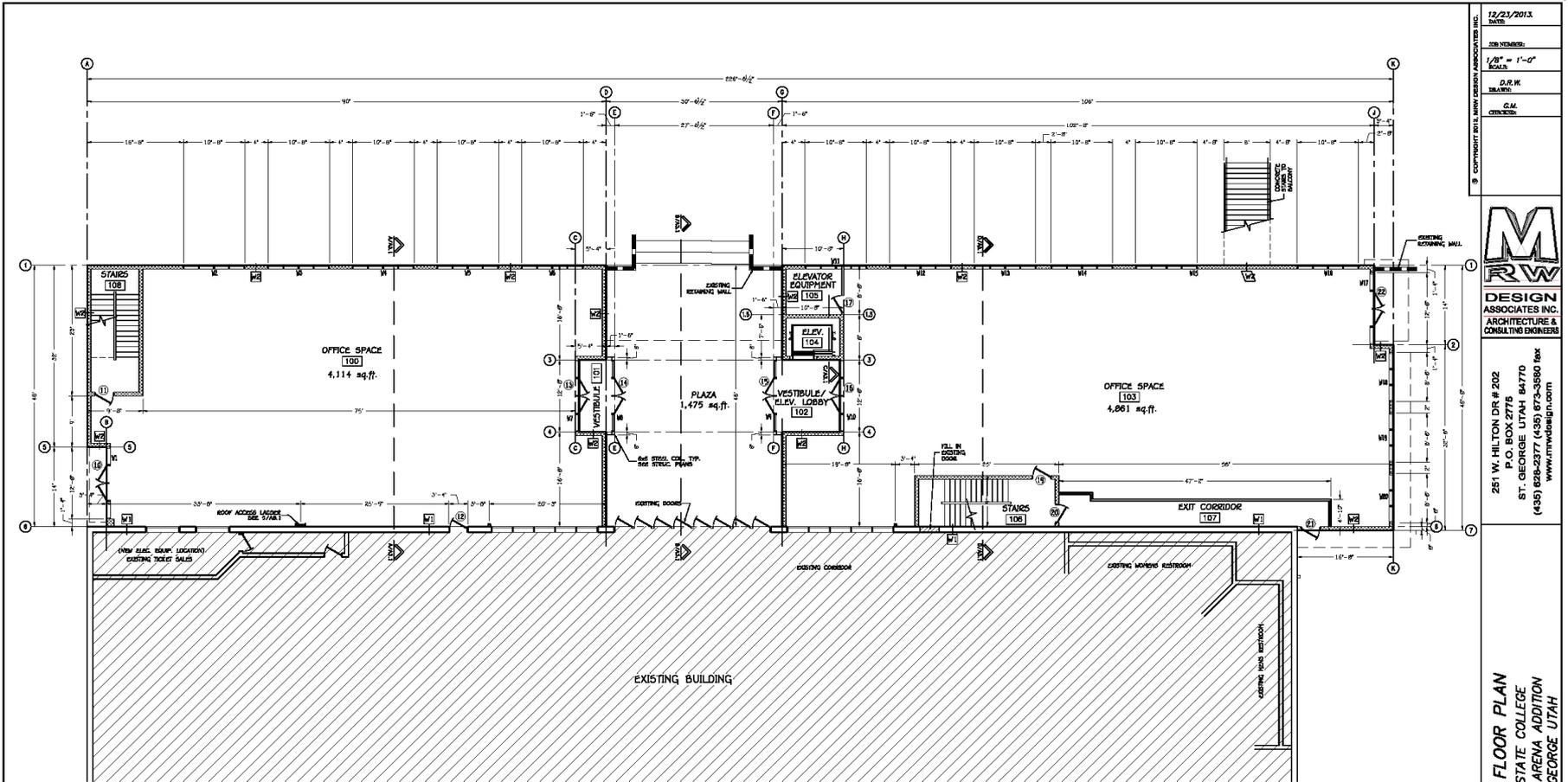
DSUTM
DIXIE STATE UNIVERSITY
ST. GEORGE, UTAH

Burns Arena North Addition

- 18,000 Sq. Ft. of Floor Space
5000 Sq.Ft. of completed space with the remaining space left unfinished.
- \$2,400,000 construction cost
- Concrete Masonry Block construction to match a previous east side addition.
- Existing utilities available including power and HVAC.
- Provide needed office space for Human Resources and Campus Police.



Preliminary Floor Plans



12/21/2013
DATE
12/21/2013
1/8" = 1'-0"
SCALE
D.R.W.
DRAWN
C.M.
CHECKED



251 W. HILTON DR # 202
P.O. BOX 2776
ST. GEORGE, UTAH 84770
(435) 636-2377 (435) 673-3080 fax
www.mrwdesign.com

FIRST FLOOR PLAN
DIXIE STATE COLLEGE
BURNS ARENA ADDITION
ST. GEORGE UTAH

FIRST FLOOR PLAN
SCALE: 1/8"=1'

OFFICE SPACE #100: 4,114 SQ. FT.
OFFICE SPACE #103: 4,861 SQ. FT.
TOTAL NEW SQUARE FOOTAGE: 8,995 SQ. FT.

LEGEND:

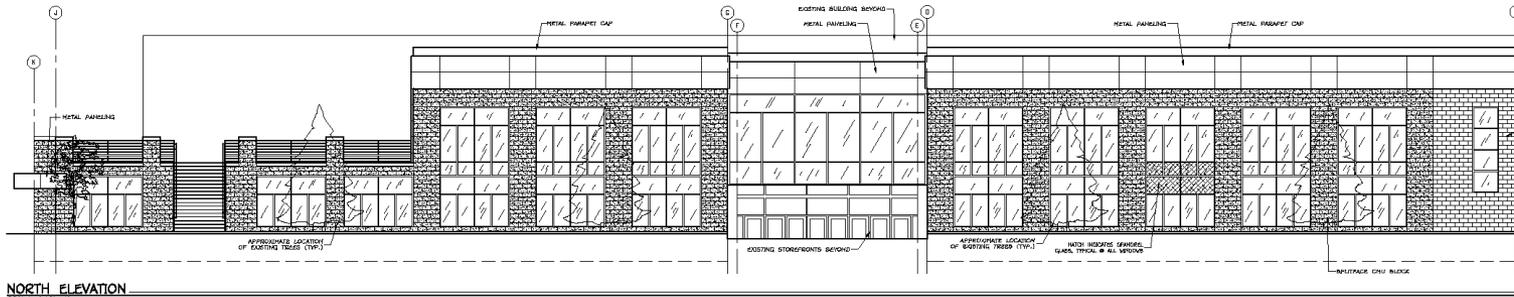
- Ⓢ DOOR TAG, SEE SHEET AS.1
- Ⓜ WINDOW TAG, SEE SHEET AS.1
- 202 ROOM TAG, SEE SHEET AS.2
- W WALL TAG, SEE KEY THIS SHEET

WALL TYPES:

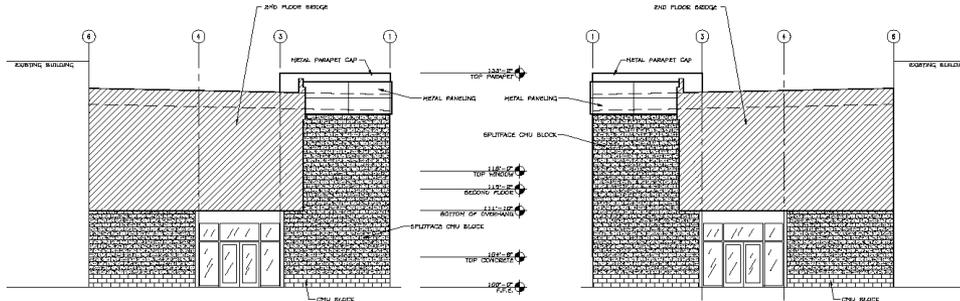
- Ⓜ EXISTING CONCRETE WALL
1 HOUR FIRE RATED WALL
- NEW 8"X8"X16" CMU BLOCK
SEE SPECIFICATIONS FOR TYPES
1/2 HOUR FIRE RATED WALL



Preliminary Exterior Elevations

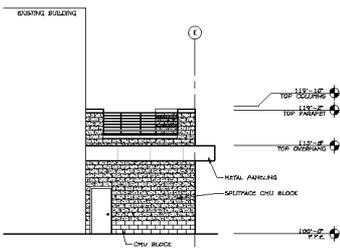


NORTH ELEVATION
SCALE: 1/8"=1'

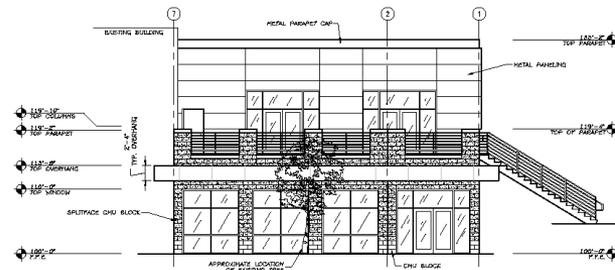


VESTIBULE EAST ELEVATION
SCALE: 1/8"=1'

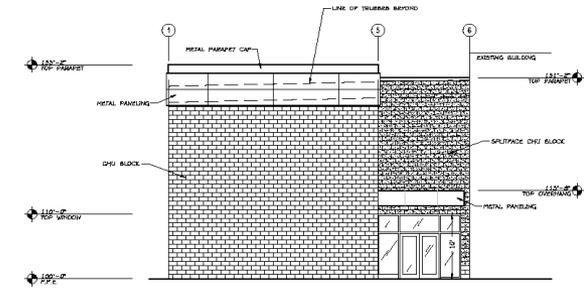
VESTIBULE WEST ELEVATION
SCALE: 1/8"=1'



SOUTH ELEVATION
SCALE: 1/8"=1'



EAST ELEVATION
SCALE: 1/8"=1'



WEST ELEVATION
SCALE: 1/8"=1'

12/23/2013
DATE
JOB NUMBER:
1/8" = 1'-0"
SCALE
D.R.W.
DRAWN
C.M.
CHECKED



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BURNS ARENA ADDITION
ST. GEORGE UTAH



FY 2014 Campus Master Plan

Design Guidelines

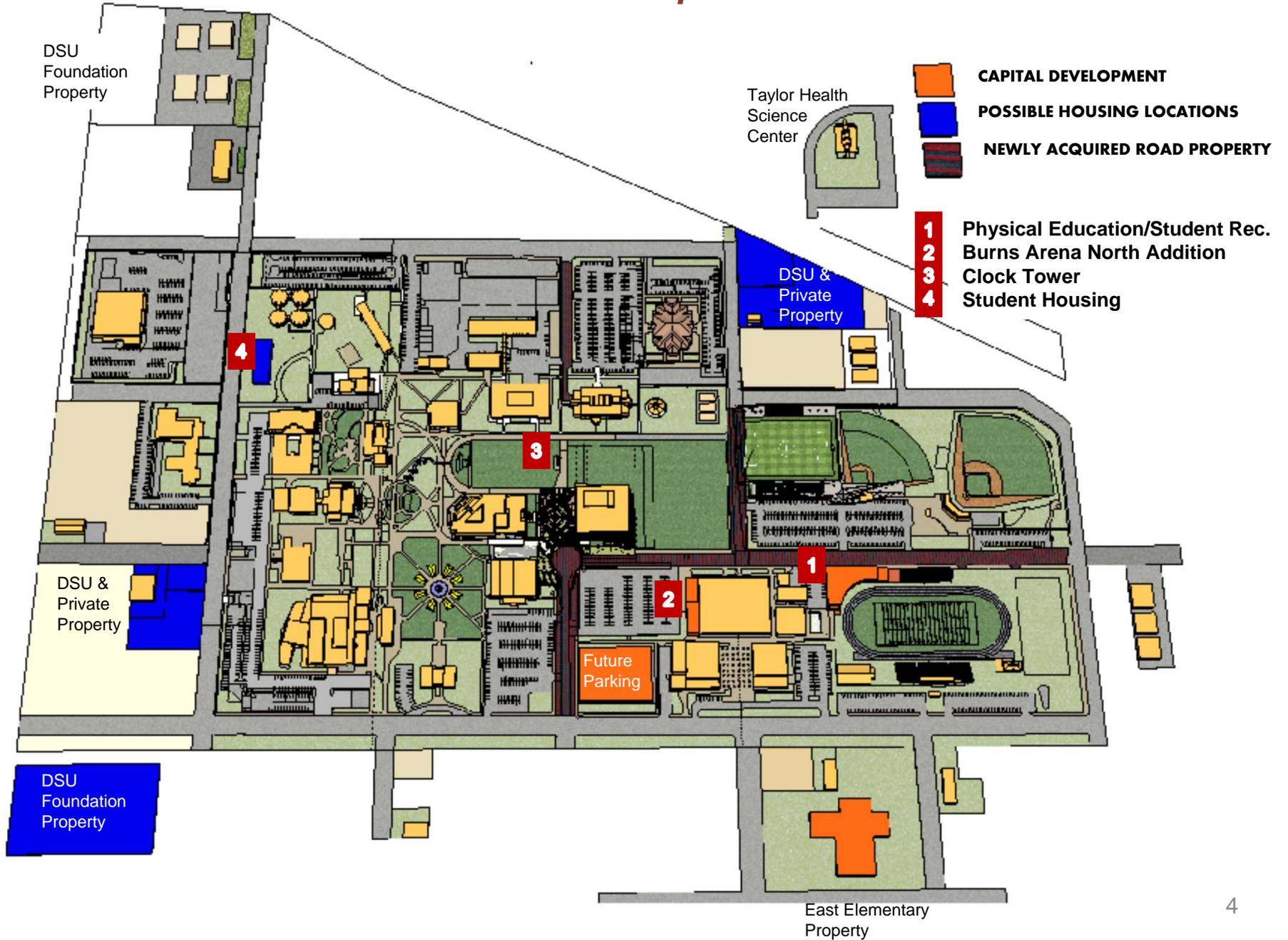
1. *New facilities will be more closely spaced*
2. *Increase verticality of structures to 4- 5 stories*
3. *Utilize technology to reduce the need for more space*
4. *Use sustainable concepts campus-wide*
5. *Strengthen the academic core*
6. *Group academic communities around open spaces*
7. *Develop utility extensions to handle growth*
8. *Acquire properties near campus for land bank*
9. *Encourage alternate transportation on and off campus*
10. *Develop housing to promote student life*
11. *Design buildings and grounds that both enhance and fit in with the current campus building colors and materials.*

Existing Main Campus

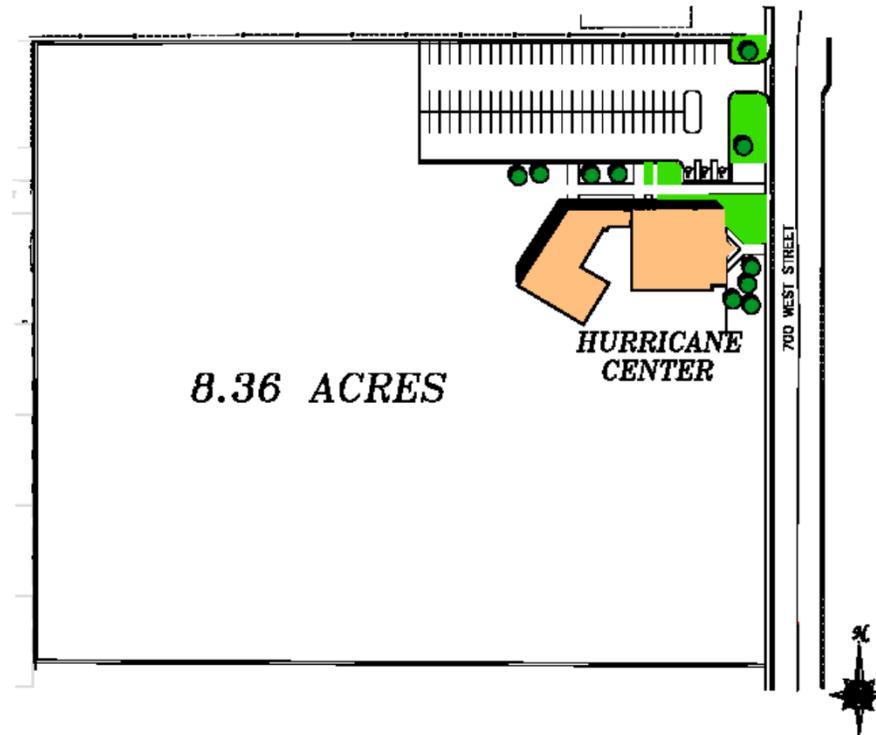


DSUTM
DIXIE STATE UNIVERSITY
ST. GEORGE, UTAH

FY 2014 Main Campus Master Plan



Hurricane Center Site Plan





Gary R. Herbert
Governor

Utah State Building Board

4110 State Office Building
Salt Lake City, Utah 84114
Phone (801) 538-3018
Fax (801) 538-3267

MEMORANDUM

To: Utah State Building Board
From: Jeff Reddoor
Date: June 4, 2014
Subject: **Request for Approval of a Master Plan Update and Programming Study for the New Snow College Science Building in Ephraim**
Presenter: Spencer Hill, Vice President for Finance and Administrative Services

Recommendation

In accordance with Utah Code 63A-5-104(3)(b) I am recommending the Board approve the master plan update and programming study for the new Snow College Science Building in Ephraim.

Background

The Snow College Science Building Project was rated number two on the Board of Regents Prioritization List and number nine on the Building Board list for FY 2015. As a result, Snow College anticipates that their project will receive Legislative funding during the next fiscal year. The current Science Building is a cause for concern for life safety issues. There are issues with the seismic codes, ADA compliance and the lack of a centralized fire sprinkler system. In addition there is a large structural crack running from the basement to the roof of the northwest corner of the building. There are various components of the building, including floor tiles and lab countertops which contain asbestos and will need to be mitigated prior to demolition. O & M Funding will be obtained from two sources: The existing O&M from the old science building will be transferred to the new building. Second, the Five Year Book recommends an increase in O & M funding of \$153,234.00 in order to address additional building components and an inflationary adjustment for 40 years.

In preparation for this new addition to their campus, Snow College would like to begin an update to their Master Plan which has not been updated since 2010. In addition they would like to begin with a programming study which will help the college president and foundation with their fundraising efforts for naming rights to the building, classrooms and labs. These conceptual drawings and firm details about the design of the new science building will enhance fundraising efforts. Snow College commits to paying all costs associated with this request. The college is requesting authorization to spend up to \$150,000.00 to conduct the programming study and update the master plan beginning this summer.

JR: cn
Attachments



May 14, 2014

Mr. Jeff Reddoor, Director
Utah State Building Board
4110 State Office Building
Salt Lake City, UT 84114

RE: Snow College request to the State Building Board for approval of a master plan update and programming study for a new Science building on the Ephraim campus

Dear Jeff,

I wish to thank you and Chairman Carnahan for the recent visit to campus allowing us the opportunity to discuss Snow's position regarding a new Science building. We enjoyed the visit and appreciate the insights and direction shared. Please accept this letter as a formal request from Snow College to proceed, with the assistance of the Division of Facilities Construction and Management (DFCM), to contract an architectural firm for purposes of updating the college Master Plan and to initiate a programming study for a new Science building.

The Utah State Board of Regents ranked Snow's request for a replacement science building second on its prioritization list for capital projects in 2013. This was in keeping with the board's emphasis on STEM (Science, Technology, Engineering, and Math) programs and facilities. The project was ranked ninth on the Building Board List of recommendations to the Legislature for the 2014 General Session. In light of the fact a majority of the top eight Building Board priority projects were funded, we anticipate that Snow's science building will be in line for funding in Fiscal Year 2016 as outlined in the DFCM, *Five Year Building Program* book.

In light of these facts, it has become critical for the college to embark on a programming initiative, in conjunction with our science faculty, to define the type of building, classrooms, laboratories, and other amenities necessary for teaching science in the twenty-first century. The college recently completed a major strategic planning initiative which outlined a need to upgrade the delivery of general education and science courses, in part, through the use of enhanced teaching methods and instructional space. A movement toward integrated science classes will lead to a science building design in stark contrast to our current structure. It is necessary to engage the science faculty in a professionally directed discussion regarding current design standards and requirements to ensure we match a new facility to new teaching methodologies and pedagogies.

A. Funding Source

Recognizing legislative funding was not provided to conduct a programming study, and that SB 172, *Capital Improvement and Capital Development Project Amendments*, limit the ability of the Building Board to fund such a study, Snow College herewith commits to pay the costs associated with this request. As outlined in the most recent CBE (updated by DFCM October 2013) \$120,000 is outlined for programming and \$8,000 for geotechnical investigation/surveys. Not included in the CBE is a master plan update we estimate at between \$15,000 and \$22,000. The college requests authorization of the expenditure of up to \$150,000 to conduct a programming study, to include a master plan update, beginning this summer. The ideal time to engage faculty members in such a

study is during the summer months when they are largely freed from regular semester teaching loads.

The funding for this study will come from Snow's Quasi-endowment Fund. These funds are all donated to the college and set aside for purposes designated by the College President. Current quasi-endowment funds in excess of \$1.0 million are more than adequate to fund this study.

In addition, the College President and Foundation are actively engaged in fundraising efforts for naming rights to the building, classrooms, and labs to increase the funds available for construction. The largest stumbling block faced to date is a lack of any conceptual drawings, renderings, or firm details about the design of the new science building. The scope of the programming study will include a request for renderings suitable to enhance fundraising efforts and provide assurances Snow is on track for a new science building.

B. Operating and Maintenance Funds

Funds for the current request of a programming/master plan study do not include O&M funding or a need for such. The college has committed all the non-state funding necessary to conduct the study outlined.

As to the new science building project, O&M funds will be derived from two sources. First, internal O&M funds will be transferred to the new science building upon completion and demolition of the old science building. Second, the DFCM, *Five Year Building Program* includes a recommended increase in O&M funding of \$153,234 to address additional building components and an inflationary adjustment due to the previous O&M amount being set 40 years ago.

C. Campus Master Plan

Snow's current campus master plan was last updated in October 2010, to reflect additional property purchased contiguous to the central campus; to incorporate transformation of the former Ephraim Elementary school into the college business building; and to plan for construction of additional on-campus housing units. In conjunction with the proposal to build a new science building on the Ephraim campus we need to update the master plan to reflect the best location of the building, tie in with the utility tunnel system, and to determine the best use of vacated space once the old science building is demolished. This update is requested as part of the programming study referenced in this letter.

D. Adverse Impact on the State

The construction of a new science building at Snow College will not have an adverse impact on the state, in fact, it will provide the opposite. The current condition of our science building is a cause for concern for life/safety issues. Ground settling due to poor soil conditions has left a significant structural crack running from the basement to the roof on the northwest corner of the building. High clay content in Sanpete county soil required the use of helical piers during construction of the Huntsman Library. We anticipate the need for a similar solution with a new science building. The current building no longer meets seismic codes, and based on architectural reports would require significant modification to bring the building into compliance. Various components of the building including floor tiles and lab countertops contain asbestos which will need to be mitigated prior to demolition. The building lacks a centralized fire sprinkler system; and as outlined in other

documents, the building falls very short of ADA standards including a single elevator which is too small for modern motorized wheelchairs and mobile devices.

If we can provide any further information regarding this request please do not hesitate to contact myself or President Gary Carlston at 435-283-7200. We request this item be included on the agenda for the next regularly scheduled Building Board meeting in June 2014. Thank you in advance for your consideration.

Best regards,

A handwritten signature in black ink that reads "Spencer H. Hill". The signature is written in a cursive style with a large, sweeping initial "S".

Spencer H. Hill
Interim Vice President
Finance and Administrative Services

cc: President Gary Carlston
Associate Commissioner Greg Stauffer
Assistant Commissioner Ralph Hardy



Gary R. Herbert
Governor

Utah State Building Board

4110 State Office Building
Salt Lake City, Utah 84114
Phone (801) 538-3018
Fax (801) 538-3267

MEMORANDUM

To: Utah State Building Board
From: Joshua Haines, Director
Date: June 4, 2014
Subject: Five Year Notice of Review and Statement of Continuation for Rule R23-23,
Health Reform – Health Insurance Coverage in State Contracts - Implementation.
Presenter: Alan Bachman, Assistant Attorney General

The Utah Rulemaking Act, Utah Code Ann. Section 63G-3-305 requires each agency to review its rules within five years of each rule's original enactment, and then within five-year intervals. To comply with the review requirement, the agency must submit a "Five-Year Notice of Review and Statement of Continuation" for each of its rules. Otherwise, the rules will expire, become unenforceable, and will be removed from the Utah Administrative Code. The attached Rule R23-23, Health Reform – Health Insurance Coverage in State Contracts - Implementation, is due for review; and therefore, the "Five Year Notice of Review and Statement of Continuation" must be filed with the Division of Administrative Rules on or before October 8, 2014.

Recommendation:

It is recommended that the Board authorize the filing of the "Five Year Notice of Review and Statement of Continuation" for Rule R23-23 at their scheduled Board meeting on June 4, 2014. The Division is also recommending amendments to Rule R23-23, and those will be presented as the next agenda item.

Background:

The purpose of Rule R23-23, under the authority of the Board, is to comply with the provisions of Section 63A-5-205, Contracting powers of director – Retainage – Health Insurance Coverage. A copy of Rule R23-23 is attached.

AB:cg

Attachment: Copy of Rule R23-23

R23. Administrative Services, Facilities Construction and Management.

R23-23. Health Reform -- Health Insurance Coverage in State Contracts -- Implementation.

R23-23-1. Purpose.

The purpose of this rule is to comply with the provisions of Section 63A-5-205.

R23-23-2. Authority.

This rule is authorized under Subsection 63A-5-103(1)(e), which directs the Utah State Building Board to make rules necessary for the discharge of the duties of the Division of Facilities Construction and Management as well as Section 63A-5-205 which requires this rule related to health insurance provisions in certain design and/or construction contracts.

R23-23-3. Definitions.

(1) Except as otherwise stated in this rule, terms used in this rule are defined in Section 63A-5-205.

(2) In addition:

(a) "Board" means the State Building Board established pursuant to Section 63A-5-101.

(b) "Director" means the Director of the Division, including, unless otherwise stated, the Director's duly authorized designee.

(c) "Division" means the Division of Facilities Construction and Management established pursuant to Section 63A-5-201.

(d) "Employee(s)" means an "employee," "worker," or "operative" as defined in Section 34A-2-104 who:

(i) works at least 30 hours per calendar week; and

(ii) meets employer eligibility waiting requirements for health care insurance which may not exceed the first day of the calendar month following 90 days from the date of hire.

(e) "State" means the State of Utah.

R23-23-4. Applicability of Rule.

(1) Except as provided in Subsection R23-23-4(2) below, this Rule R23-23 applies to all design or construction contracts entered into by the Division or the Board on or after July 1, 2009, and

(a) applies to a prime contractor if the prime contract is in the amount of \$1,500,000 or greater; and

(b) applies to a subcontractor if the subcontract is in the amount of \$750,000 or greater.

(2) This Rule R23-23 does not apply if:

(a) the application of this Rule R23-23 jeopardizes the receipt of federal funds;

(b) the contract is a sole source contract; or

(c) the contract is an emergency procurement.

(3) This Rule R23-23 does not apply to a change order as defined in Section 63G-6-103, or a modification to a contract, when the contract does not meet the initial threshold required by Subsection R23-23-4(1).

(4) A person who intentionally uses change orders or contract modifications to circumvent the requirements of subsection (1) is guilty of an infraction.

R23-23-5. Contractor to Comply with Section 63A-5-205.

All contractors and subcontractors that are subject to the requirements of Section 63A-5-205 shall comply with all the requirements, penalties and liabilities of Section 63A-5-205.

R23-23-6. Not Basis for Protest or Suspend, Disrupt, or Terminate Design or Construction.

(1) The failure of a contractor or subcontractor to provide qualified health insurance coverage as required by this rule or Section 63A-5-205:

(a) may not be the basis for a protest or other action from a prospective bidder, offeror, or contractor under Section 63G-6-801 or any other provision in Title 63G, Chapter 6, Part 8, Legal and Contractual Remedies; and

(b) may not be used by the procurement entity or a prospective bidder, offeror, or contractor as a basis for any action or suit that would suspend, disrupt or terminate the design or construction.

R23-23-7. Requirements and Procedures a Contractor Must Follow.

A contractor (including consultants and designers) must comply with the following requirements and procedures in order to demonstrate compliance with Section 63A-5-205.

(1) Demonstrating Compliance with Health Insurance Requirements. The following requirements must be met by a contractor (including consultants, designers and others under contract with the Division) that is subject to the requirements of this Rule no later than the time the contract is entered into or renewed:

(a) demonstrate compliance by a written certification to the Director that the contractor has and will maintain for the duration of the contract an offer of qualified health insurance coverage for the contractor's employees and the employee's dependents; and

(b) The contractor shall also provide such written certification prior to the execution of the contract, in regard to all subcontractors (including subconsultants) at any tier that is subject to the requirements of this Rule.

(2) Recertification. The Director shall have the right to request a recertification by the contractor by submitting a written request to the contractor, and the contractor shall so comply with the written request within ten (10) working days of receipt of the written request; however, in no case may the contractor be required to demonstrate such compliance more than twice in any 12-month period.

(3) Demonstrating Compliance with Actuarially Equivalent Determination. The actuarially equivalent determination required by Subsection 63A-5-205(1)(e) and defined in Section 26-40-115 is met by the contractor if the contractor provides the Director with a written statement of actuarial equivalency from either the Utah Insurance Department; an actuary selected by the contractor or the contractor's insurer; or an underwriter who is responsible for developing the employer group's premium rates.

For purposes of this Rule R23-23-7(3), actuarially equivalency is achieved by meeting or exceeding the requirements of Section 26-40-115 which are also delineated on the DFCM website at <http://dfcm.utah.gov/downloads/Health%20Insurance%20Benchmark.pdf>.

(4) The health insurance must be available upon the first day of the calendar month following ninety (90) days from the date of hire.

(5) Architect and Engineer Compliance Process. Architects and engineers that are subject to this Rule must demonstrate compliance with this Rule in any annual submittal under Section 63G-6-702. During the procurement process and no later than the execution of the contract with the architect or engineer, the architect or engineer shall confirm that their applicable subcontractors or subconsultants meet the requirements of this Rule.

(6) General (Prime) Contractors Compliance Process. Contractors that are subject to this Rule must demonstrate compliance with this Rule for their own firm and any applicable subcontractors, in any pre-qualification process that may be used for the procurement. At the time of execution of the contract, the contractor shall confirm that their applicable subcontractors or subconsultants meet the requirements of this Rule.

(7) Notwithstanding any prequalification process, any contract subject to this Rule shall contain a provision requiring compliance with this Rule from the time of execution and throughout the duration of the contract.

(8) Hearing and Penalties.

(a) Hearing. Any hearing for any penalty under this Rule conducted by the Board or the Division shall be conducted in the same manner as any hearing required for a suspension or debarment.

(b) Penalties that may be imposed by Board or Division. The penalties that may be imposed by the Board or the Division if a contractor, consultant, subcontractor or subconsultant, at any tier, intentionally violates the provisions of this Rule R23-23, may include:

(i) a three-month suspension of the contractor or subcontractor from entering into future contracts with the State upon the first violation, regardless of which tier the contractor or subcontractor is involved with the future design and/or construction contract;

(ii) a six-month suspension of the contractor or subcontractor from entering into future contracts with the State upon the second violation, regardless of which tier the contractor or subcontractor is involved with the future design and/or construction contract;

(iii) an action for debarment of the contractor or subcontractor in accordance with Section 63G-6-804 upon the third or subsequent violation; and

(iv) monetary penalties which may not exceed 50 percent of the amount necessary to purchase qualified health insurance coverage for an employee and the dependents of an employee of the contractor or subcontractor who was not offered qualified health insurance coverage during the duration of the contract.

(c)(i) In addition to the penalties imposed above, a contractor, consultant, subcontractor or subconsultant who intentionally violates the provisions of this rule shall be liable to the employee for health care costs that would have been covered by qualified health insurance coverage.

(ii) An employer has an affirmative defense to a cause of action under Subsection R23-23-7(8)(c)(i) as provided in Subsection 63A-5-205(3)(g)(ii).

R23-23-8. Not Create any Contractual Relationship with any Subcontractor or Subconsultant.

Nothing in this Rule shall be construed as to create any contractual relationship whatsoever between the State of Utah, the Board, or the Division with any subcontractor or subconsultant at any tier.

**KEY: health insurance, contractors, contracts, contract requirements
Date of Enactment or Last Substantive Amendment: July 11, 2011
Authorizing, and Implemented or Interpreted Law: 63A-5-103(1)(e);
63A-5-205**



Gary R. Herbert
Governor

Utah State Building Board

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Salt Lake City, Utah 84114
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MEMORANDUM

To: Utah State Building Board
From: Joshua Haines, Director
Date: June 4, 2014
Subject: Amendments to DFCM Rule 23-23, Health Reform – Health Insurance Coverage in State Contracts - Implementation.
Presenter: Alan Bachman, Assistant Attorney General

DFCM is recommending amendments to Rule 23-23, Health Reform – Health Insurance Coverage in State Contracts - Implementation. Please find the attached rule with the proposed amendments that we are proposing to match recent legislation as well as to update some statutory references.

Recommendation:

It is recommended that the Board authorize the filing of the amendments for Rule R23-23 at their scheduled Board meeting on June 4, 2014. If approved, these amendments will get filed before or on the next filing deadline. After being filed, the amendments will be published in the Utah State Bulletin. After the mandatory 30 day comment period, and if no negative comments are received, plus an additional seven days, the amendments will become effective.

Background:

The purpose of Rule R23-23, under the authority of the Board, is to comply with the provisions of Section 63A-5-205, Contracting powers of director – Retainage – Health Insurance coverage.

AB: cg

Attachment: Rule R23-23 (with proposed amendments highlighted)

R23. Administrative Services, Facilities Construction and Management.

R23-23. Health Reform -- Health Insurance Coverage in State Contracts -- Implementation.

R23-23-1. Purpose.

The purpose of this rule is to comply with the provisions of Section 63A-5-205.

R23-23-2. Authority.

This rule is authorized under Subsection 63A-5-103(1)(e), which directs the Utah State Building Board to make rules necessary for the discharge of the duties of the Division of Facilities Construction and Management as well as Section 63A-5-205 which requires this rule related to health insurance provisions in certain design and/or construction contracts.

R23-23-3. Definitions.

(1) Except as otherwise stated in this rule, terms used in this rule are defined in Section 63A-5-205.

(2) In addition:

(a) "Board" means the State Building Board established pursuant to Section 63A-5-101.

(b) "Director" means the Director of the Division, including, unless otherwise stated, the Director's duly authorized designee.

(c) "Division" means the Division of Facilities Construction and Management established pursuant to Section 63A-5-201.

(d) "Employee(s)" means an "employee," "worker," or "operative" as defined in Section 34A-2-104 who:

(i) works at least 30 hours per calendar week; and

(ii) meets employer eligibility waiting requirements for health care insurance which may not exceed the first day of the calendar month following [90]60 days from the date of hire.

(e) "State" means the State of Utah.

R23-23-4. Applicability of Rule.

(1) Except as provided in Subsection R23-23-4(2) below, this Rule R23-23 applies to all design or construction contracts entered into by the Division or the Board on or after July 1, 2009, and

(a) applies to a prime contractor if the prime contract is in the amount of \$1,500,000 or greater; and

(b) applies to a subcontractor if the subcontract is in the amount of \$750,000 or greater.

(2) This Rule R23-23 does not apply if:

(a) the application of this Rule R23-23 jeopardizes the receipt of federal funds;

(b) the contract is a sole source contract; or

(c) the contract is an emergency procurement.

(3) This Rule R23-23 does not apply to a change order as defined in Section 63G-6-103, or a modification to a contract, when the contract does not meet the initial threshold required by Subsection R23-23-4(1).

(4) A person who intentionally uses change orders or contract modifications to circumvent the requirements of subsection (1) is guilty of an infraction.

R23-23-5. Contractor to Comply with Section 63A-5-205.

All contractors and subcontractors that are subject to the requirements of Section 63A-5-205 shall comply with all the requirements, penalties and liabilities of Section 63A-5-205.

R23-23-6. Not Basis for Protest or Suspend, Disrupt, or Terminate Design or Construction.

(1) The failure of a contractor or subcontractor to provide qualified health insurance coverage as required by this rule or Section 63A-5-205:

(a) may not be the basis for a protest or other action from a prospective bidder, offeror, or contractor under Section 63G-6-801 or any other provision in Title 63G, Chapter 6a, [~~Part 8, Legal and Contractual Remedies~~] Utah Procurement Code; and

(b) may not be used by the procurement entity or a prospective bidder, offeror, or contractor as a basis for any action or suit that would suspend, disrupt or terminate the design or construction.

R23-23-7. Requirements and Procedures a Contractor Must Follow.

A contractor (including consultants and designers) must comply with the following requirements and procedures in order to demonstrate compliance with Section 63A-5-205.

(1) Demonstrating Compliance with Health Insurance Requirements. The following requirements must be met by a contractor (including consultants, designers and others under contract with the Division) that is subject to the requirements of this Rule no later than the time the contract is entered into or renewed:

(a) demonstrate compliance by a written certification to the Director that the contractor has and will maintain for the duration of the contract an offer of qualified health insurance coverage for the contractor's employees and the employee's dependents; and

(b) The contractor shall also provide such written certification prior to the execution of the contract, in regard to all subcontractors (including subconsultants) at any tier that is subject to the requirements of this Rule.

(2) Recertification. The Director shall have the right to request a recertification by the contractor by submitting a written request to the contractor, and the contractor shall so comply with the written request within ten (10) working days of receipt of the written request; however, in no case may the contractor be required to demonstrate such compliance more than twice in any 12-month period.

(3) Demonstrating Compliance with Actuarially Equivalent Determination. The actuarially equivalent determination required by Subsection 63A-5-205(1)(e) and defined in Section 26-40-115 is met by the contractor if the contractor provides the Director with a written statement of actuarial equivalency from either the Utah Insurance Department; an actuary selected by the contractor or the contractor's insurer; or an underwriter who is responsible for developing the employer group's premium rates.

For purposes of this Rule R23-23-7(3), actuarially equivalency is achieved by meeting or exceeding the requirements of Section 26-40-115 which are also delineated on the DFCM website at [<http://dfcm.utah.gov/downloads/Health%20Insurance%20Benchmark.pdf>]

[\]http://dfcm.utah.gov/downloads/1const/Health_Insurance_Benchmark.pdf.](http://dfcm.utah.gov/downloads/1const/Health_Insurance_Benchmark.pdf)

(4) The health insurance must be available upon the first day of the calendar month following ~~[ninety]~~ sixty (~~[90]~~60) days from the date of hire.

(5) Architect and Engineer Compliance Process. Architects and engineers that are subject to this Rule must demonstrate compliance with this Rule in any annual submittal under Section 63G-6-702. During the procurement process and no later than the execution of the contract with the architect or engineer, the architect or engineer shall confirm that their applicable subcontractors or subconsultants meet the requirements of this Rule.

(6) General (Prime) Contractors Compliance Process. Contractors that are subject to this Rule must demonstrate compliance with this Rule for their own firm and any applicable subcontractors, in any pre-qualification process that may be used for the procurement. At the time of execution of the contract, the contractor shall confirm that their applicable subcontractors or subconsultants meet the requirements of this Rule.

(7) Notwithstanding any prequalification process, any contract subject to this Rule shall contain a provision requiring compliance with this Rule from the time of execution and throughout the duration of the contract.

(8) Hearing and Penalties.

(a) Hearing. Any hearing for any penalty under this Rule conducted by the Board or the Division shall be conducted in the same manner as any hearing required for a suspension or debarment.

(b) Penalties that may be imposed by Board or Division. The penalties that may be imposed by the Board or the Division if a contractor, consultant, subcontractor or subconsultant, at any tier, intentionally violates the provisions of this Rule R23-23, may include:

(i) a three-month suspension of the contractor or subcontractor from entering into future contracts with the State upon the first violation, regardless of which tier the contractor or subcontractor is involved with the future design and/or construction contract;

(ii) a six-month suspension of the contractor or subcontractor from entering into future contracts with the State upon the second violation, regardless of which tier the contractor or subcontractor is involved with the future design and/or construction contract;

(iii) an action for debarment of the contractor or subcontractor in accordance with Section 63G-6~~a-~~8904 upon the third or subsequent violation; and

(iv) monetary penalties which may not exceed 50 percent of the amount necessary to purchase qualified health insurance coverage for an employee and the dependents of an employee of the contractor or subcontractor who was not offered qualified health insurance coverage during the duration of the contract.

(c)(i) In addition to the penalties imposed above, a contractor, consultant, subcontractor or subconsultant who intentionally violates the provisions of this rule shall be liable to the employee for health care costs that would have been covered by qualified health insurance coverage.

(ii) An employer has an affirmative defense to a cause of action

under Subsection R23-23-7(8)(c)(i) as provided in Subsection 63A-5-205(3)(g)(ii).

R23-23-8. Not Create any Contractual Relationship with any Subcontractor or Subconsultant.

Nothing in this Rule shall be construed as to create any contractual relationship whatsoever between the State of Utah, the Board, or the Division with any subcontractor or subconsultant at any tier.

**KEY: health insurance, contractors, contracts, contract requirements
Date of Enactment or Last Substantive Amendment: July 11, 2011
Authorizing, and Implemented or Interpreted Law: 63A-5-103(1)(e);
63A-5-205**



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MEMORANDUM

To: Utah State Building Board
From: Joshua Haines, Director
Date: June 4, 2014
Subject: Amendments to DFCM Rule 23-22, General Procedures for Acquisition and Selling of Real Property.
Presenter: Alan Bachman, Assistant Attorney General

DFCM is recommending amendments to Rule 23-22, General Procedures for Acquisition and Selling of Real Property. Please find the attached current rule as well as a version that replaces it.

Recommendation:

It is recommended that the Board authorize the filing of the amendments for Rule R23-22 at their scheduled Board meeting on June 4, 2014. If approved, these amendments will get filed before or on the next filing deadline. After being filed, the amendments will be published in the Utah State Bulletin. After the mandatory 30 day comment period, and if no negative comments are received, plus an additional seven days, the amendments will become effective.

Background:

Rule R23-22, under the authority of the Board, provides the procedures for acquisition and selling of real property.

AB: cg

Attachment: Rule R23-22 (and a version that contains the amendments)

R23. Administrative Services, Facilities Construction and Management.

R23-22. General Procedures for Acquisition and Selling of Real Property.

R23-22-1. Purpose.

This rule defines the procedures of the Division of Facilities Construction and Management for acquisition and selling of real property.

R23-22-2. Authority.

(1) This rule is authorized under Subsection 63A-5-103(1)(e), which directs the Building Board to make rules necessary for the discharge of the duties of the Division of Facilities Construction and Management (hereinafter referred to as the "Division").

(2) This rule is also authorized and intended to implement the requirements of Section 63A-5-401, as well as Subsection 63A-5-103(1)(e)(iii).

R23-22-3. Policy.

It is the general policy of the Board that, except as otherwise allowed by the Utah Code, the Division shall buy, sell or exchange real property in accordance with this Rule to ensure that the value of the real property is congruent with the proposed price and other terms of the purchase, sale or exchange.

R23-22-4. Scope of This Rule.

This Rule shall apply to all purchases, sales, donations and exchanges of DFCM, as applicable in this Rule, except as otherwise allowed by the Utah Code. The requirements of this Rule shall also not apply to a contract or other written agreement prior to May 5, 2008; or to any contract or to any purchase, sale or exchange of real property where the value is determined to be less than \$100,000 as estimated by DFCM.

R23-22-5. Requirements for Purchase or Exchanges of Real Property.

DFCM shall comply with the following in regard to the purchase or exchange of real property that is subject to this Rule:

(1) DFCM must find that all necessary approvals have been obtained from State and other applicable authorities. DFCM will assist other State agencies in obtaining these approvals when it is deemed by DFCM to be in the interest of the State.

(2) DFCM shall coordinate as required any necessary financing requirements through the State Building Ownership Authority, or other relevant bonding authority, as authorized by the Legislature.

(3) DFCM shall assist other State agencies in accordance with DFCM's governing statutes, through financial analysis and other appropriate means, in selecting the appropriate or particular real property to be purchased and/or exchanged.

(4) DFCM shall, in accordance with DFCM's governing statutes, negotiate, draft and execute the applicable Real Estate Contract with due consideration to the State agency's comments. The State agency may be required by DFCM to be a signatory to the Contract.

(5) DFCM shall obtain and review the following documents when such is determined by DFCM to be customary in the industry for the

size and type of transaction or if required by another provision of this Rule or State law:

- a. title insurance commitment;
- b. an environmental assessment;
- c. an engineering assessment;
- d. a code review;
- e. an appraisal;
- f. an analysis of past maintenance and operational expenses, when available and relevant;
- g. the situs, zoning and planning information;
- h. an ALTA land survey;
- i. an historic property assessment under Section 9-8-404; and
- j. other requirements determined necessary by DFCM, this Rule or State law.

(6) DFCM shall review, approve and execute when in the interest of the State, closing documents as prepared by the selected title company.

(7) DFCM may use boiler plate documents approved as to form by the Utah Attorney General or shall consult with the Utah Attorney General regarding provisions of the sale or significant changes to the boiler plate documents approved as to the form by the Utah Attorney General.

(8) DFCM shall endeavor to monitor the distribution of closing documents.

R23-22-6. Additional Requirements Regarding R23-22-5(5).

DFCM shall comply with the provisions below. None of the provisions below shall restrict the Director from requiring or not requiring any of the following if in the Director's opinion such is advantageous to the State or if such is required or allowed by State law:

(1) Title insurance commitment. The following applies to real property that may become State property by purchase, donation or exchange: DFCM shall obtain an Owner's Policy of Title Insurance for real property valued by DFCM at \$500,000 or above. For real property valued by DFCM at less than \$500,000, DFCM shall obtain a title report and may obtain an Owner's Policy of Title Insurance if, in the judgment of DFCM, title insurance is advantageous to the State.

(2) Phase I Environmental Assessment or Greater. The following applies to real property that may become State property by purchase, donation or exchange: A Phase I or greater Environmental Assessment may be required by DFCM prior to a purchase or exchange of real property when the property considered to become State property has a use and/or occupancy history which in the opinion of DFCM indicates the possibility of environmental issues that would materially affect the DFCM's purchase of the property or the State agency's use of the property.

(3) Engineering Assessment. The following applies to real property that may become State property by purchase, donation or exchange: For all improved real property valued by DFCM at \$250,000 or above, DFCM shall obtain an engineering assessment of mechanical systems and structural integrity of improvements located on the property. An engineering assessment may be waived by the DFCM Director if an engineering assessment has already been performed

within the past 12 months or if the land is unimproved. The State may perform an engineering assessment for real property valued at less than \$250,000 if, in the judgment of the Director, such an assessment is advantageous to the State.

(4) Code and Requirements Review. DFCM shall review the real property that may potentially become State property through purchase, donation or exchange to ascertain its suitability under all applicable codes and requirements, including any applicable provisions of State law.

(5) Appraisal. For real property that may potentially become State property through purchase or exchange, the State shall arrive at a fair market valuation of the property prior to purchase that is agreeable to the seller and the State. The fair market value determination used by DFCM in the negotiation shall be based upon an appraisal completed by an appraiser that specializes in the type of the subject real property and is a state-certified general appraiser under Section 61-2B-2 or by a State of Utah licensed MAI appraiser who also has such a certificate, except as follows:

(a) When this rule is not applicable under its scope;

(b) When State law otherwise provides that DFCM does not have to use fair market value; or

(c) When the Director has determined by a writing filed with DFCM, that the cost of obtaining the appraisal is not justified in the economic interest of the State of Utah.

(6) Past maintenance and operational expenses. DFCM shall endeavor to obtain, past maintenance and operational expense histories attached to any real property that may be acquired by the State, including real property that is acquired by purchase, donation or exchange, unless it is determined by the Director that the obtaining of such records is not justified in the economic interest of the State of Utah.

(7) Situs, zoning and planning information. DFCM shall endeavor to obtain preexisting situs, zoning and planning information regarding the real property that may be acquired by purchase, donation or exchange when required by State law, or if the Director determines that the obtaining of such information is advantageous to the State.

(8) ALTA land survey. For all real property acquired by DFCM through purchase, donation or exchange, and the property to become State property is valued by DFCM at \$250,000 or above, DFCM shall obtain an ALTA/ACSM Land Title Survey, current revision, of the subject property. An ALTA survey shall not be required if an ALTA survey has already been performed within the past 12 months unless otherwise determined by the Director. The State may perform an ALTA survey for real property valued less than \$250,000 if the Director determines that such a survey is in the interest of the State.

R23-22-7. Requirements for the Disposition of Real Property by DFCM.

(1) Determination of disposition of real property.

(a) Notwithstanding, any other provision of this Rule R23-22, any real property that is of historical significance to the State of Utah shall not be disposed by the Division, regardless of the value amount of the property, unless approval has been obtained by the Legislative Management Committee of the Utah Legislature.

(i) "Historical significance" for the purposes of this Rule

R23-22 includes real property, including any structures, statues or other improvements on the real property, that is listed on the National Register of Historic Places or the State Register.

(ii) The Division, after consultation with the State Historic Preservation Officer, shall make a recommendation to the Board as to whether a property proposed to be declared as surplus property, is historically significant based on the definition of "historically significant" in this Rule. The Board, after considering the recommendation of the Division as well as any other interested persons or entities, shall determine whether or not the property is historically significant.

(iii) A copy of the determination regarding Historical Significance shall be sent to the State Historic Preservation Officer as well as the Chair and Vice-Chair of the Legislative Management Committee, any of which may within ten (10) working days of the receipt of the determination by the Board, decide that the issue should be considered by the Legislative Management Committee and that the Division shall not proceed with the disposition of the property until the Legislative Management Committee approves the disposition.

(b) If the Board has not determined that the real property is historically significant, then the Building Board may declare the real property to be surplus under the procedures described in this Rule.

(i) Thereafter, if the appraised value of the real property is estimated by the Director to be \$500,000 or below, then the Board may authorize the Division to dispose of the real property in accordance with the provisions of this Rule.

(ii) If the appraised value as estimated by the Director is above \$500,000, then the Board shall refer consideration of the sale of the real property to the Legislative Management Committee.

(c) Nothing in the rule shall prohibit the Director from proceeding with easements, lot line and other minor, incidental adjustments with other State entities or other public/private persons or entities, as long as the Director reasonably determines that such property is not historically significant after consultation with the State Historic Preservation Officer, that the adjustment is in the public interest, and that the value of the adjustment as determined by the Director is less than \$100,000.

(2) Determination of surplus property. If the real property is determined to not be historically significant under this rule and in addition to the policy of Section R23-22-3, it is the policy of this Board to efficiently and economically dispose of real property that is determined by DFCM or the State to be surplus in accordance with State law. In accordance with State law, DFCM may recommend to the Board that certain real property be declared as surplus. The Board shall consider the following factors in the determination of declaring the property to be surplus:

- (a) the input of the Division;
- (b) the input of State agencies;
- (c) any other input received from concerned persons or entities;

and

- (d) the appraised value of the property.

(3) Detailed disposition procedures. After the appropriate determination is made that the real property is surplus, and it is

determined that the property is not historically significant under this rule, then DFCM shall endeavor to sell the surplus real property on the open market, unless such property is to be conveyed to another State agency or public entity in accordance with Utah law. If there is such a sale, it shall be as follows:

(a) DFCM shall confirm that all necessary approvals have been sought for the declaration of surplus property.

(b) Unless otherwise allowed by State law, DFCM shall obtain at least fair market value for the real property to be sold. This shall be accomplished by the following:

(i) DFCM shall determine a fair market valuation of the property prior to the offer for sale. The fair market value determination used by DFCM in offer for sale shall be based upon an appraisal completed by an appraiser that specializes in the type of the subject real property and is a state-certified general appraiser under Section 61-2B-2, or by a Utah licensed MAI appraiser who also has such a certificate, except as follows:

(A) When this rule is not applicable under its scope;

(B) When State law otherwise provides that DFCM does not have to use fair market value; or

(C) When the Director has determined by a writing filed with DFCM, that the cost of obtaining the appraisal is not justified in the economic interest of the State of Utah.

(c) DFCM shall establish a listing price based on the appraisal obtained under this Rule or, if there is no appraisal based on the above, based upon DFCM's knowledge of prevailing market conditions and other circumstances customarily used in the industry for such sales.

(d) DFCM shall advertise the property for sale in such a manner that is commercially reasonable in the discretion of the Director.

DFCM may set a time deadline for the submission of bids for the real property based upon the economic conditions at the time of the sale.

(e) DFCM shall endeavor to enter into a contract for sale to the highest reasonable bidder, unless the DFCM Director files a written justification statement as to why a lower bidder is more advantageous to the State or if there is a sole bidder, that such bid is unreasonable.

If after a reasonable timeline set by the Director of public advertisement, no acceptable bid is submitted, then DFCM may sell the property through a private negotiated sale, provided that any sale below the fair market value initially established by DFCM for the subject property is accompanied by a written justification statement filed by the Director and a copy of which is provided to the Board prior to execution of the contract for sale.

(f) DFCM shall, in accordance with DFCM's governing statutes, negotiate, draft and execute the applicable Real Estate Contract, with due consideration to the comments of the affected State agency.

The affected State agency may be required by DFCM to be a signatory to the Contract.

(g) DFCM shall review, approve, and execute when appropriate, closing documents as prepared by the selected title company.

(h) DFCM may use boiler plate documents approved as to form by the Utah Attorney General or shall consult with the Utah Attorney General regarding provisions of the sale or significant changes to the boiler plate documents approved as to the form by the Utah Attorney

General.

(i) DFCM shall endeavor to monitor the distribution of the closing documents.

KEY: real estate, historical significance, property transactions

Date of Enactment or Last Substantive Amendment: July 8, 2010

Notice of Continuation: February 20, 2013

**Authorizing, and Implemented or Interpreted Law: 63A-5-103;
63A-5-401**

R23. Administrative Services, Facilities Construction and Management. R23-22. General Procedures for Acquisition and Selling of Real Property.

R23-22-1. Purpose.

This rule defines the procedures of the Division of Facilities Construction and Management for acquisition and selling of real property.

R23-22-2. Authority.

(1) This rule is authorized under Subsection 63A-5-103(1)(e), which directs the Building Board to make rules necessary for the discharge of the duties of the Division of Facilities Construction and Management (hereinafter referred to as "DFCM"). All actions under this rule that refer to the DFCM shall be undertaken by the Director of DFCM or the Director's duly authorized designee.

(2) This rule is also authorized and intended to implement the requirements of Section 63A-5-401, as well as Subsection 63A-5-103(1)(e)(iii).

R23-22-3. Policy.

It is the general policy of the Board that, except as otherwise allowed by the Utah Code, the DFCM shall buy, sell or exchange real property in accordance with this Rule to ensure that the value of the real property is congruent with the proposed price and other terms of the purchase, sale or exchange.

R23-22-4. Scope of This Rule.

(1) This Rule shall apply to all purchases, sales, donations and exchanges of DFCM except as otherwise allowed by the Utah Code. The requirements of this Rule shall also not apply to a contract or other written agreement prior to May 5, 2008.

(2) This Rule contains a waiver provision in Rule R23-22-8 that is consistent with Section 63A-5-401.

(3) Nothing in the rule shall prohibit DFCM from proceeding with easements, lot line and other minor, incidental adjustments with other State entities or other public/private persons or entities, as long as DFCM reasonably determines that such property is not historically significant after consultation with the State Historic Preservation Officer, that the transaction is in the public interest, and that the value of the transaction, as reasonably determined by DFCM, is less than \$100,000.

R23-22-5. Requirements for Purchase, Accepting a Donation, or Exchanges of Real Property.

Unless waived under Rule R23-22-8, DFCM shall comply with the following in regard to the purchase, accepting a donation, or exchange of real property that is subject to this Rule:

(1) Selection Process. In accordance with State law, DFCM shall either perform the selection process or assist the state agency with the selection process. The selection process must comply with applicable State laws and rules.

(2) Financing Requirements. As authorized by the Utah Legislature, DFCM shall assist, as appropriate with financing requirements, including, but not limited to, coordinating financing requirements through the State Building Ownership Authority, or other authorized bonding authority.

(3) Document Preparation and Approvals. In accordance with State law, DFCM shall negotiate, draft and execute the applicable Real Estate Contract and transaction documents with due consideration to the State agency's comments. The State agency may be required by DFCM to be a signatory to the Contract. Legal documents shall either be on a form approved by the Utah Attorney General or submitted for approval to the Utah Attorney General. The same requirements shall apply to closing documents prepared by the title company.

(4) Substantive Requirements. Unless a provision below is waived under Rule R23-22-8, DFCM shall obtain and review the following:

(a) Title Insurance. DFCM shall obtain an Owner's Policy of Title Insurance for real property with an estimated value by DFCM at \$200,000 or above. For real property with an estimated value by DFCM of less than \$200,000, DFCM shall obtain a title report and may obtain an Owner's Policy of Title Insurance if, in the judgment of DFCM, title insurance is advantageous to the State.

(b) Environmental Assessment. A Phase I environmental Assessment or higher level environmental assessment is required.

(c) Engineering Assessment. DFCM shall obtain an engineering assessment of mechanical systems and structural integrity of improvements located on the property.

(d) Code Review. DFCM shall review the real property to ascertain its suitability under all applicable codes, laws, regulations and requirements.

(e) Appraisal. Except for transactions where State law does not require a certain value to be established, the value used by DFCM in the negotiation shall be based upon an appraisal completed by an appraiser that is a state-certified general appraiser under Section 61-2B-2 and a State of Utah licensed MAI appraiser.

(f) Maintenance and Operation History. DFCM shall obtain, if reasonably available, an analysis of past maintenance and operational expenses.

(g) Land Use Information. DFCM shall obtain, if reasonably available, the plat map, zoning and planning information.

(h) Survey. DFCM shall obtain an ALTA/ACSM Land Title Survey, current revision, of the subject property. An ALTA survey shall not be required if an ALTA survey has already been performed within the past 12 months unless otherwise determined by DFCM;

(i) Historic Assessment. DFCM shall undertake an historic property assessment under Section 9-8-404; and

(j) Other. DFCM shall also comply with other requirements determined necessary by law, rule, regulation or by DFCM.

R23-22-6. Determination of Surplus Real Property.

(1) In accordance with State law, DFCM may recommend that certain real property be declared as surplus.

(2) If DFCM estimates that the value of the real property is less than \$100,000, then DFCM need only notify the Executive Director of the Department of Administrative Services prior to any declaration of surplus or disposition of the real property. DFCM shall also consult with the State Historic Preservation Office prior to any such declaration or disposition if the property is historically significant.

(3) If DFCM estimates that the value of the real property is \$100,000 or more, then the DFCM shall notify the Director of the Department of Administrative Services as well as the staff of the Building Board, as well as receive approval from the Building Board prior to any declaration of surplus or disposition of the real property. The Utah State Building may declare the property surplus after considering the following:

(a) The recommendation and any comments by the Division;

(b) The input from state agencies and institutions, including, but not limited to, whether any state agency or institution has a need for the subject property;

(c) Any input from concerned persons or entities;

(d) The appraised value of the property; and

(e) Whether the property is historically significant. The property shall be considered historically significant if the real property, structures, statues or other improvements on the real property, is listed on the National Register of Historic Places or the State Register, or if the Board determines that it is historically significant after considering input from the State Historic Preservation Officer and others that have relevant input at the Board meeting.

(4) If the Utah Legislature directs that the DFCM sell the property, then it shall be deemed as declared surplus under this Rule without the need for any Board approval.

R23-22-7 Detailed disposition procedures. After the appropriate determination is made that the real property is surplus, DFCM shall endeavor to sell the surplus real property on the open market, unless such property is to be conveyed to another State agency or public entity in accordance with applicable law. The sale shall be processed as follows:

(1) Approvals. DFCM shall confirm that all necessary approvals have been sought for the declaration of surplus property.

(2) Appraisal. Except for transaction where State law does not require a certain value be established or when the Director of DFCM estimates that the value of the property is less than \$100,000, the value used by DFCM in the sale shall be based upon an appraisal completed by an appraiser that is a State of Utah certified general appraiser under Title 61, Chapter 2g, of the Utah Code and is a State of Utah licensed MAI appraiser.

(3) Listing Price. DFCM shall establish a listing price

based on the appraisal or, if no appraisal is required, based upon DFCM's knowledge of prevailing market conditions and other circumstances customarily used in the industry for such sales.

(4) Advertise. DFCM shall advertise the property for sale in such a manner that is commercially reasonable in the discretion of the DFCM. DFCM may set a time deadline for the submission of bids.

(5) Award of Contract. DFCM shall endeavor to enter into a contract with the bidder that provides the best value to the State of Utah taking into account the price, other terms and factors related to the sale. If the contract is with a person that does not have the highest bidding price, then DFCM shall file a written justification statement describing the circumstances in which the selected bidder represents the best value to the State of Utah.

(6) Document Preparation and Approvals. In accordance with State law, DFCM shall negotiate, draft and execute the applicable Real Estate Contract or transaction documents with due consideration to the State agency's comments. The State agency may be required by DFCM to be a signatory to the Contract. Legal documents shall either be on a form approved by the Utah Attorney General or submitted for approval to the Utah Attorney General. The same requirements shall apply to closing documents prepared by the title company.

R23-22-8. Waiver for Requirements, Other Than R23-22-6.

(1) The requirements under R23-22-6 may not be waived.

(2) To the extent allowed by law, any provision of this Rule 23-22, other than R23-22-6, may be waived by the DFCM Director when the adherence to the provision of the rule is not economically efficient or other special circumstances are documented which indicate that the enforcement of the rule would not be in the public interest.



Gary R. Herbert
Governor

Utah State Building Board

4110 State Office Building
Salt Lake City, Utah 84114
Phone (801) 538-3018
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MEMORANDUM

To: Utah State Building Board
From: Joshua Haines, Director
Date: June 4, 2014
Subject: Amendments to DFCM Rule 23-19, Facilities Use Rule.
Presenter: Jeff Reddoor, State Building Board Manager

DFCM is recommending amendments to Rule 23-19, Facilities Use Rule. Please find the attached rule with the proposed amendments for your consideration and approval.

Recommendation:

It is recommended that the Board authorize the filing of the amendments for Rule R23-19 at their scheduled Board meeting on June 4, 2014. If approved, these amendments will get filed before or on the next filing deadline. After being filed, the amendments will be published in the Utah State Bulletin, and after the mandatory 30 day comment period, and if no negative comments are received, plus an additional seven days, the amendments will become effective.

Background:

Rule R23-19, under the authority of the Board, regulates the use of state facilities and grounds, providing rules regarding political signs, as well as authorizing written policies to be created pursuant to this rule.

AB: cg

Attachment: Rule R23-19 (with proposed amendments)

R23. Administrative Services, Facilities Construction and Management.

R23-19. Facility Use Rules.

R23-19-1. Purpose.

The purpose of this rule is to regulate the use of state facilities and grounds as defined below, providing rules regarding political signs, as well as authorizing written policies to be created pursuant to this rule.

R23-19-2. Authority and Applicability.

(1) This Rule is authorized under Sections 63A-5-103 and 63A-5-204 which authorizes the making of rules regarding the use and management of state facilities and grounds owned or occupied by the State for the use of its department and agencies.

(2) This Rule shall apply to all state facilities and grounds except as follows:

(a) To the extent not authorized by law or the Utah Constitution, this Rule does not apply to state facilities and grounds under the jurisdiction of the legislative and judicial branches of the State of Utah government.

(b) This Rule does not apply to state facilities and grounds under the jurisdiction of the Utah State Board of Regents.

(c) This Rule does not apply to state facilities and grounds under the jurisdiction of the Capitol Preservation Board.

(d) This Rule does apply to state facilities and grounds under a lease to the extent consistent with the lease agreement, as the lease agreement shall control the use of the property under the lease. Notwithstanding this, the requirements of the constitutions of the United States and the State of Utah shall supersede the provisions of any such lease agreement and in particular, in the exercise of freedom of speech or assembly rights under such constitutions in any such leased facilities and grounds, the provisions of this rule regarding time, place and manner shall apply.

R23-19-3. Definitions.

(1) "Agency" means a State of Utah department, division or agency.

(2) "DFCM" means the Division of Facilities Construction and Management, a division within the Department of Administrative Services.

(3) "Event" or "events" are commercial, community service, private and state sponsored activities involving one or more persons. A free speech activity is not an event for purposes of this rule. The term "activity" or "activities" may be substituted in this rule for the term "event" or "events."

(4) "Facility Use Application" means a form, if required by the policies of the Managing Agency, which may require information identifying the event, time, location and purpose for a facility use permit that needs to be completed by a prospective user and submitted to the Managing Agency of the State Office Building.

(5) "Facility Use Permit" ("Permit") means a written permit issued by the Managing Agency authorizing the use of an area of state facilities and grounds for an event in accordance with this rule.

(6) "Freedom of Speech Activity" is as defined in Rule R23-20.

(7) "State Sponsored Activity" means any event sponsored by the state that is related to state business. This does not include extra-curricular activities.

(8) "Private Activity" means an event sponsored by private individuals, business or organizations that is not a commercial or community service activity.

(9) "Managing Agency" means the agency responsible for the management, operations and use of the facility. If DFCM is responsible for the maintenance of state facilities and grounds, the agreement between DFCM and the occupying agency shall identify the "Managing Agency."

(10) "State Facilities and Grounds" means State of Utah facilities and/or grounds where the principal use of the facility and/or grounds is related to state office or program functions or is under the control of any State of Utah agency; all of which is subject to the exclusions of Rule R23-19-2(2).

(11) "Community Service Activities" means events sponsored by governmental, quasi-governmental and charitable organizations, city and county government departments and agencies, public schools, and charitable organizations held to support or recognize the public or charitable functions of such sponsoring group.

(12) "Commercial Activities" means events that sponsored or conducted for the promotion of commercial products or services, and include advertising, private parties, private company or organization meetings, and any other non-public organization event. Commercial activities do not include private, community service, state sponsored, or free speech activities.

(13) "Political Sign" means a sign regarding a candidate for political office or regarding a political issue to be considered in an election.

(14) "Commercial Solicitation" is as defined in rule R23-19-6.

(15) "State" means the State of Utah and any of its agencies, departments, divisions, officers, and legislators, members of the judiciary, persons serving on state boards or commissions, and employees of the above entities and persons.

R23-19-4. State Office Building Use Requirements.

(1) The Managing Agency may adopt policies, which require a Facility Use Permit to be submitted. Such policies may provide for a waiver of the policy adopted under this Rule R23-19-4(1) under criteria specified in the policies. The policies may specify the form of the application, including:

(a) The time, place, purpose and scope of the proposed activity;

(b) Whether the applicant requests a waiver of any requirement of this rule or provision of the Facility Use Permit;

(c) A certificate of liability insurance in the amount of \$1,000,000 per person, \$2,000,000 per occurrence, except for Freedom of Speech Activities where no insurance is required; and

(d) Any required fee subject to the following:

(i) Fees may be assessed for the use of state facilities and grounds through the written policies of the Managing Agency. When any activity is subject to a fee, the Managing Agency should consider at a minimum the actual cost to the State including utilities, janitorial, security and rental cost for equipment. The following

applies to specific activities:

(ii) "Freedom of Speech Activities." There are no fees for freedom of speech activities, but costs for requested use of state equipment or supplies may be assessed through the uniformly applied policies of the Managing Agency.

(ii) "Commercial Activities" or "Private Activities" shall be assessed a fee, which is reasonably comparable to fees charged for similar activities within the County of the state facilities and grounds. There shall be no fee waiver allowed for commercial or private activities.

(iii) "Community Service Activities" shall be assessed a fee of 50 percent of the fee for a commercial activity and such fee may only be waived if requested in a facility use application and granted by the approving authority. There shall be no waiver of the fee related to the costs of requested use of state equipment and supplies, which is assessed through the uniformly applied policies of the Management Agency.

(iv) "State Sponsored Activities." There are no fees for state sponsored activities, except that state agencies will be required to pay the costs and fees identified in the uniform policies of the Management Agency when the activity is not required for the conducting of state business, such as after-hour social events, employee recognition events, and holiday parties.

(2) The proposed activity shall not interfere with the operation of governmental business or public access. No persons shall unlawfully intimidate or interfere with persons seeking to enter or exit any facility, or use of any state facilities and grounds.

(3) The consumption, distribution or open storage of alcoholic beverages in state facilities and grounds is prohibited. This provision shall not apply to state facilities and grounds under the jurisdiction of the Department of Alcohol Beverage Control or golf courses under the Division of Parks and Recreation.

(4) Open flames, flammable fluids, candles, burning incense or explosives are prohibited, except that a gelled alcohol food warming fuel used for food preparation or warming, whether catered or not, is allowed provided that it is in:

(a) a one ounce capacity container (29.6 ml) on a noncombustible surface; or

(b) a container on a noncombustible surface, not exceeding one quart (946.9 ml) capacity with a controlled pouring device that will limit the flow to a one ounce (29.6 ml) serving.

(5)(a) The use of a personal space heater is prohibited, except as provided in Subsection (b).

(b) Any person with a medical related condition may obtain approval by the managing agency to use a personal space heater provided the person submits a signed statement by a Utah licensed physician verifying that the medical related condition requires a change in the standard room temperature and the use of the space heater meets the specifications in Subsection (c).

(c) If a space heater is approved by the managing agency, the space heater shall:

(i) not exceed 900 watts at its highest setting;

(ii) be equipped with a self-limiting element temperature setting for the ceramic elements;

- (iii) have a tip-over safety device;
 - (iv) be equipped with a built-in timer not to exceed eight hours per setting;
 - (v) be equipped with a programmable thermostat; and
 - (vi) be equipped with an overheat protection feature.
- (d) Notwithstanding any other provision of this Rule, if the space heater is to be placed in a facility leased by the State through the Division, the placement must also be approved by the Real Estate Section of the Division.

(6) For Personal appliances, other than space heaters regulated under Rule R23-19-4(5) above, the following applies:

(a) Personal appliances are prohibited in a private office or cubical but are allowed in break areas.

(b) "Personal appliances" for purposes of this Rule include, but are not limited to: coffee makers, refrigerators, air conditioners, food warmers, hot plates, microwaves, waffle makers, toasters and toaster ovens.

(c) "Personal appliances" for purposes of this Rule does not include personal fans, which are allowed.

(d) Any person with a medical related condition may obtain approval by the managing agency to use a personal appliance that would otherwise be prohibited, if the person submits a signed statement by a Utah licensed physician verifying that the medical related condition requires the use of the personal appliance in the employee's private office or cubicle.

(7[6]) No displays, including but not limited to signs, shall be affixed to state facilities and grounds.

(8[7]) User shall not sublet any part of the premises or transfer or assign the premises or change the purpose of the permitted activity without the written consent of the state.

(9[8]) Alteration and damage to a state facilities and grounds including grass, shrubs, trees, paving or concrete, is prohibited.

(10[9]) All costs to repair any damage or replace any destruction, regardless of the amount or cost of restoration or refurbishing shall be at the expense of the persons(s) responsible for such damage or destruction.

(11[0]) Service animals are permitted, but the presence of other animals is allowed only with advance written permission of the Managing Agency. Owners/caretakers are responsible for the safety to the animal, persons, grounds and facilities.

(12[1]) Littering is prohibited.

(13[2]) Decorations.

(a) All cords must be taped down with 3M #471 tape or equivalent as determined by the Managing Agency.

(b) There shall be no posting or affixing of placards, banners, or signs attached to any part of any building or on the grounds. All signs or placards shall be hand held. [~~Signs or posters may not be on sticks or poles.~~]

(c) No adhesive material, wire, nails, or fasteners of any kind may be used on the buildings or grounds.

(d) Nothing may be used as a decoration, or be used in the process of decorating, that marks or damages structure(s).

(e) All decorations and supporting structures shall be temporary.

(f) Any writing or use of ink, paint or sprays applied to any area of any building is prohibited.

(g) Users may not decorate the outside of any facility or any portion of the grounds.

(h) Signs, posters, decorations, displays, or other media shall be in compliance with the state law regarding Pornographic and Harmful Materials and Performances, Section 76-10-1201 et seq.

(14) Live cut trees. Any live cut trees placed inside a building must be treated with fire retardant as approved by the facility manager.

(15) The following applies to artificial trees:

(a) Artificial trees shall be listed flame retardant by an independently nationally recognized laboratory with evidence of the listing available to the facility manager.

(16) The facility manager has the right to deem a tree unsafe and request that agency to remove the tree immediately if these rules are not strictly followed.

(17) All electrical decorations, including but not limited to those on trees, shall be UL listed in good condition without frayed wiring, loose connections or broken sockets. They must be used according to manufacturers' recommendations. The electrical connection, including cabling must be approved in advance by the facility manager. Any electrical decorations must be turned off at the end of the business day for the particular agency.

(18[3]) Set up/Clean up.

(a) All deliveries and loading/unloading of materials shall be limited to routes and elevators as specified by the Managing Agency.

(b) All decorations, displays and exhibits shall be taken down by the designated end time of the event in a manner that is least disruptive to state business.

(c) Users shall leave all state facilities and grounds in its original condition and appearance.

(19[4]) Parking. There must be compliance with the written parking requirements adopted by the Managing Agency.

([15]20) Compliance with Laws.

(a) Users shall conform to all applicable and constitutional laws and requirements, including health, safety, fire, building and other codes and similar requirements. Occupancy limits as posted in or applicable to any public area will dictate, unless otherwise limited for public safety, the number of persons who can assemble in the public areas. Under no circumstance will occupancy limits be exceeded. State security personnel shall use reasonable efforts to ensure compliance with occupancy, safety, and health requirements.

(b) Safety requirements as used in this rule include safety and security requirements made known to the Managing Agency by the Utah Department of Public Safety or the federal government for the safety and security of special events and/or persons.

(c) "No Smoking" statutes, rules and policies, including the Utah Indoor Clean Air Act, Section 26-38 et seq. shall be observed.

(d) All persons must obey all applicable firearm laws, rules, and regulations.

([16]21) Security and Supervision at Events.

(a) The Managing Agency may adopt written policies regarding security requirements for events, which must be followed.

(b) At least one representative of the applicant identified in the application and permit shall be present during the entire activity.

([1722]) Photography, Portraits and Video/Filming.

(a) Any photography, videotaping or filming, shall require advance notice to, and permission from the Managing Agency for scheduling.

(b) This Subsection (16) shall not apply to tourists and does not apply to the extent it is the exercise of a free speech activity.

([1823]) Commercial, Private and Community Service Activities. A Managing Agency may determine through its written policies to categorically not allow any commercial, private and/or community service activities. However, if commercial or private activities are allowed, then community service activities shall be allowed subject to all the requirements of this rule and a facility use permit.

([1924]) Liability.

(a) The state, Managing Agency and their designees, employees and agents shall not be deemed in default of any issued permit, or liable for any damages if the performance of any or all of their obligations under the permit are delayed or become impossible because of any act of God, terrorism, war, riot or civil disobedience, epidemic, strike, lock-out or labor dispute, fire, or any other cause beyond their reasonable control.

(b) Except as required by law, the state shall not be responsible for any property damage or loss, nor any personal injury sustained during, or as a result of, any use, activity or event.

(c) Users/applicants shall be responsible for any personal injury, vandalism, damage, loss, or other destruction of property caused by the user or an attendee at the applicant's event.

(25[9]) Indemnification. Individuals and organizations using any state facilities and grounds do so at their own risk and shall indemnify and hold harmless the state from and against any and all suits, damages, claims or other liabilities due to personal injury or death, and from damage to or loss of property arising out of or resulting from the conduct of such use or activities on the Capitol Hill Complex.

(26[1]) Enforcement of Rules. If any person or group is found to be in violation of any of the applicable laws and rules, a law enforcement officer or state security officer may issue a warning to cease and desist from any non-complying acts. If the law enforcement or security officer observes a non-compliant act after a warning, the officer may take disciplinary action including citations, fines, cancellations of event or activity, or removal from the state facility and grounds.

R23-19-5. Facility Use Permit - Denial - Appeal - Cancellation - Revocation - Transfer.

(1) Within ten (10) working days of receipt of a completed application, the Managing Agency shall issue a Facility Use Permit or notice of denial of the application.

(2) The Managing Agency may deny an application if:

(a) The application does not comply with the applicable rules;

(b) The event would conflict or interfere with a state sponsored activity, a time or place reserved for freedom of speech activities,

the operation of state business, or a legislative session; and/or
(c) The event poses a safety or security risk to persons or property.

(3) The Managing Agency may place conditions on the approval that alleviates such concerns.

(a) If the applicant disagrees with a denial of the application or conditions placed on the approval, the applicant may request a reconsideration of the Managing Agency's determination by delivering the written request for reconsideration and reasons for the disagreement to the Managing Agency within five (5) working days of the issuance of the notice of denial or approval with conditions.

(b) Within ten (10) days after the Managing Agency receives the written request for reconsideration, the Managing Agency may modify or affirm the determination.

(c) If the matter is still unresolved after the issuance of the Managing Agency's reconsideration determination, the applicant may appeal the matter, in writing, within ten (10) calendar days to the Executive Director of the Department of Administrative Services who will determine the process of the appeal.

(5) Facility Use Permits are non-transferable. The purpose, time, place and other conditions of the Facility Use Permit may not be changed without the advance written consent of the Managing Agency.

(6) An event may be re-scheduled if the Managing Agency determines that an event will conflict with a governmental function, free speech activity or state sponsored activity.

(a) The Managing Agency may revoke any issued permit if this rule R23-19, any applicable law, or any provision of the permit is being violated. The permit may also be revoked if the safety or health of any person is threatened.

(b) The permittee may cancel the permit and receive a refund of fees, less any incurred costs to the state or managing agency, and any deposits if written notice of cancellation is received by the Managing Agency at least 48 hours prior to the scheduled event.

Failure to timely cancel the event will result in the forfeiture of any deposit and fees.

R23-19-6. Commercial Solicitation Policy.

(1) In general, commercial solicitation is prohibited.

(2) Nothing in this rule shall be interpreted as to infringe upon anyone's constitutional right of freedom of speech and freedom of association.

(3) In addition to the definitions in R23-19-3 above, the following definitions shall also apply to this Rule R23-19-6:

(a) "Commercial Solicitation(s)" means any commercial activity conducted for the purpose of advertising, promoting, fund-raising, buying or selling any product or service, encouraging membership in any group, association or organization, or the marketing of commercial activities by distributing handbills, leaflets, circulars, advertising or dispersing printed materials for commercial purposes.

(b) "Commercial Solicitation" for the purpose of this rule does not include free speech activities as defined in rule R23-20, Utah Administrative Code.

(c) "Commercial Solicitation" for the purpose of this rule does not include filming or photographic activities, but such activities

shall be subject to rule R23-19 et seq.

(d) "Commercial Solicitation" for the purpose of this rule does not include solicitation by the state or federal government; solicitation related to the business of the state, solicitation related to the procurement responsibilities of the state, solicitation allowed as a matter of right under applicable federal or state law; or solicitation made pursuant to a contract or lease with the state.

(4) Commercial Solicitation Allowed under a Facility Use Permit.

(a) Commercial solicitation, not prohibited by R23-19-6(5) below, may be allowed in conjunction with the issuance of a facility use permit under rule R23-19 and such commercial solicitation must comply with the facility use rules of R23-19-1 et seq.

(b) All materials allowed shall be displayed only on bulletin boards or in areas that have been approved in advance by the Managing Agency.

(c) The issuance of a facility use permit shall not be construed as state endorsement of the solicitor's product, service, charity or event.

(d) Soliciting activities are subject to all littering laws and regulations.

(5) Prohibited Commercial Solicitation. The following commercial solicitation activities are prohibited and no facility use permit shall be issued for such:

(a) Door-to-door commercial solicitation of items, services or donations.

(b) Commercial solicitation to persons in vehicles or by leaving any commercial solicitation materials on vehicles or parking lots.

(c) Any sale of food or beverage products that would be in any violation of any contract entered into by the State or the Managing Agency.

R23-19-7. Waivers.

(1) The Managing Agency may waive, in writing, the requirements of any provision of this Rule R23-19 upon being presented with compelling reasons that the waiver will substantially benefit the public of the state of Utah and that the facilities, grounds and persons will be appropriately protected. Conditions may be placed on any approved waiver to assure the appropriate protection of facilities, grounds and person. An appeal of a denial of a request for such waiver may be filed and processed similarly to the denial of a Facility Use Permit as described in R23-19-5.

(2) Costs and fees shall be waived for state sponsored activities. However, state agencies will be required to pay the costs and fees identified in the Schedule of Costs and Fees when the activity is not required for the conducting of state business, such as after-hour social events, employee recognition events, and holiday parties. Costs and fees will not be waived for commercial, private and commercial solicitation activities.

(3) Notwithstanding the waiver provisions of this rule, the following may not be waived by the Managing Agency: R23-19-4(2), (4), (5) (8), (9), (10), (11), (15), (16), (18), (19), (20) and (21) as well as R23-19-6.

R23-19-8. Political Signs.

Political signs, except for hand-carried signs during permitted events under a Facility Use Permit, are prohibited on all State of Utah owned properties except as allowed under a Freedom of Speech Activity or as protected under the State of Utah or United States Constitutions.

Rule R23-19-8(1) shall not apply to Utah Department of Transportation right-of-ways, properties of the State and Institutional Trust Lands Administration or properties of Higher Education, any of which may have its own laws or rules applicable to political signs.

KEY: public buildings, facilities use, space heaters

Date of Enactment or Last Substantive Amendment: December 4, 2008

Notice of Continuation: May 3, 2012

Authorizing, and Implemented or Interpreted Law: 63A-5-103; 63A-5-204

| 4-14-14



Gary R. Herbert
Governor

Utah State Building Board

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MEMORANDUM

To: Utah State Building Board
From: Jeff Reddoor
Date: June 4, 2014
Subject: **Request for Approval of Two Reallocations for the National Guard**
Presenter: Jeff Reddoor, Building Board Manager

Recommendation

I am recommending the Board approve two reallocations of funds which were originally designated for the Utah National Guard Paving Projects.

Background

Spanish Fork Armory Paving Improvements:

The FY 2014 Capital Improvement Fund allotted \$114,000.00 to the Spanish Fork Armory for their paving improvements. However these funds were not needed to complete the project since the paving improvements were completed previously with other Capital Improvement Funds from FY 2013. The 114,000.00 should be transferred where it is most needed in the Statewide Paving Fund to be used for other necessary paving requests.

Brigham City Armory Paving and General Building Repairs:

The FY 2014 Capital Improvement Fund allotted \$218,000.00 to the Brigham City Armory Paving and General Building Repairs Project. These funds have not been used to date and the National Guard would like to have these funds reallocated to a more needful project at their Draper Headquarters. The National Guard is requesting \$18,000.00 remain with the Brigham City Armory to pay for their general building repairs and \$200,000.00 be reallocated to the Draper National Guard Headquarters Restroom Improvements. Recently, the Draper Restroom Improvements were funded \$50,000.00 from the FY 2015 Capital Improvement Fund in anticipation that Draper would receive a reallocation for this project.

JR: cn
Attachments

DFCM Capital Improvement Reallocation Request

Date: 5/19/2014
Agency: National Guard
Requestor: Darrell Huning - DFCM and LTC Matt Price

Allocated From

Project Name: Spanish Fork Armory Paving Improvements
Project No.: N/A FY14 Funded Project number not set up.
DFCM PM: N/A
Completion Date: Prior year funding completed project
Project Savings: \$114,000

Allocated To

Project Name: Unallocated paving
*Project No.: 11284300
ISES No.: N/A
Amount: \$114,000

Description of Work/Justification:

\$114,000 was funded in FY14 for paving improvements at the Spanish Form Amormy, however these improvements where completed in the prior year with other improvement funds. These funds should be reallocated to unallocated Statewide paving funds and used on paving projects as needed thourghout the State.

Allocated To

Project Name:
*Project No.:
ISES No.:
Amount:

Description of Work/Justification:

*If applicable

DFCM Capital Improvement Reallocation Request

Date: 5/19/2014
Agency: National Guard
Requestor: DFCM - Darrell Hunting and LTC Matt Price

Allocated From

Project Name: Brigham City Armory Paving and general Building repairs
Project No.: 14019470
DFCM PM: Darrell Hunting
Completion Date: N/A
Project Savings: \$200,000

Allocated To

Project Name: Draper NG Headquarters Restroom Improvements
*Project No.: Not set up yet.
ISES No.: ?
Amount: \$200,000

Description of Work/Justification:

In FY14 the Birgham City project was funded \$218,000 for paving and general Building repairs. No work has been performed to date at Birgham City. \$18,000 will remain at Birgham City to fund needed improvements and the balance of \$200,000 will be reallocated to the Draper Headquarters project to fund much needed restroom improvments. This project was funded \$50,000 in FY15 with the anticipation that these funds would be reallocated to this project.

Allocated To

Project Name:
*Project No.:
ISES No.:
Amount:

Description of Work/Justification:

*If applicable



Gary R. Herbert
Governor

Utah State Building Board

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MEMORANDUM

To: Utah State Building Board
From: Jeff Reddoor
Date: June 4, 2014
Subject: **Approval of Remaining FY2015 Capital Improvement Funds**
Presenter: Jeff Reddoor, Building Board Manager

Recommendation

I recommend the Board approve the remaining \$1,570,230 of FY 2015 Capital Improvement Funds as identified in the attached list.

Background

This is the remaining funds of the approved FY2015 Capital Improvement List totaling \$ 100,243,640. These additional projects were evaluated and it was determined they qualified for funding under the new process for selecting Capital Improvement projects. Recommended projects are identified in red on the attached list.

JR: cn
Attachments

2015 Capital Improvement Recommendations (June 4, 2015)

FY 2015				
Agency/Institution	Requested	Base \$41,739,000	9% \$82,017,526	1.1 % \$100,243,600
Higher Education				
Dixie State University				
Tunnel Exiting and Fire Alarm System	\$ 150,000	\$ 183,000	\$ 183,000	\$ 183,000
Campus ADA Ramps Code Issues	\$ 125,000	\$ 125,000	\$ 125,000	\$ 125,000
Burns Arena Boiler Replacement	\$ 318,000	\$ 389,500	\$ 389,500	\$ 389,500
Browning HVAC Controls Update	\$ 65,000	\$ -	\$ 82,000	\$ 82,000
Roof Replacement of Administration Building	\$ 75,000	\$ -	\$ 135,637	\$ 135,637
Roof Replacement of Campus Services Building	\$ 75,000	\$ -	\$ 75,000	\$ 75,000
Campus Fire Lane Repair and Replacement	\$ 120,000	\$ -	\$ 120,000	\$ 120,000
Hot/Chilled Water Metering for all Buildings	\$ 200,000	\$ -	\$ 246,000	\$ 246,000
Remove Underground Oil Storage Tank	\$ 100,000	\$ -	\$ 98,000	\$ 98,000
Campus Fiber Optic Distribution	\$ 250,000	\$ -	\$ -	\$ 305,000
General Campus Parking Lot Maintenance	\$ 25,000	\$ 25,000	\$ 25,000	\$ 150,000
Cox Auditorium Elevator Modernization	\$ 25,000	\$ -	\$ 27,000	\$ 25,000
Geographic Information System (GIS) Map of Campus	\$ 125,000	\$ -	\$ -	\$ -
Central Irrigation System Phase II	\$ 75,000	\$ -	\$ 75,000	\$ 75,000
Education and Family Studies	\$ 1,193,000	\$ -	\$ -	\$ -
North Instruction Building Remodel for Education	\$ 2,188,000	\$ -	\$ -	\$ -
Tunnel Expansion for Looped System	\$ 2,400,000	\$ -	\$ -	\$ -
	\$ 7,509,000	\$ 539,500	\$ 1,398,137	\$ 1,826,137
Salt Lake Community College				
SCC - COMPLETE PROMIMITY LOCK INSTALLATION	\$ 300,000	\$ 365,034	\$ 365,034	\$ 365,034
RRC - S&I WINDOW REPLACEMENT PHASE II	\$ 300,000	\$ 339,674	\$ 339,674	\$ 339,674
SCC - ELECTRICAL PANEL UPGRADE	\$ 250,000	\$ 314,836	\$ 314,836	\$ 314,836
RRC - LIB CHILLER REPLACEMENT	\$ 200,000	\$ 243,356	\$ 243,356	\$ 243,356
LHM - MPC WEST EMERGENCY EGRESS STAIRS- EXTERIOR & MATC EXTERIOR STAIRS ON SOUTH SIDE - EXTERIOR (\$ 50,000	\$ 61,479	\$ 61,479	\$ 61,479
SCC - BRICK & MASONRY REPAIR AT PARAPET WALLS & CORNERS	\$ 600,000	\$ -	\$ 728,532	\$ 728,532
RRC - CP CHILLER VFD UPGRADE	\$ 320,000	\$ -	\$ 388,550	\$ 388,550
RRC - LAC AHU1 VFD REPLACEMENT	\$ 90,000	\$ -	\$ 36,503	\$ 36,503
SCC - HVAC CONTROLS UPGRADE	\$ 400,000	\$ -	\$ 485,688	\$ 485,688
RRC - ELECTRICAL& WATER METERING FOR ALL BLDGS	\$ 100,000	\$ -	\$ 122,043	\$ 122,043
RRC - CT HVAC CONTROLS & VAV UPGRADE	\$ 350,000	\$ -	\$ -	\$ 450,232
RRC -TB REPLACE MOTORS ON 4 RETURN AIR FANS & INSTALL VFD'S	\$ 42,000	\$ -	\$ 76,170	\$ 76,170
RRC - ECCLES CHILDHOOD DEVELOPMENT LAB TOTAL HVAC UPGRADE.	\$ 85,000	\$ -	\$ 103,426	\$ 103,426
RRC - BB WINDOW & WINDOW TREATMENT REPLACEMENT	\$ 100,000	\$ -	\$ 113,492	\$ 113,492
LHM - PSET EXTERIOR CONCRETE REPLACEMENT	\$ 90,000	\$ -	\$ -	\$ 102,133
LHM - MPDC, GMCC, MFEC, MATC FIRE ALARM UPGRADE	\$ 125,000	\$ -	\$ -	\$ 152,418
RRC - GENERATOR , ELEC VAULT, COOLING TOWER ENCLOSURE	\$ 300,000	\$ -	\$ -	\$ 300,000
JC - INSTANT WATER HEATERS TO ALL BUILDINGS	\$ 45,000	\$ -	\$ -	\$ -
RRC - INSTALL A/C UNITS IN CRAFTS SHOPS	\$ 100,000	\$ -	\$ -	\$ -
SCC - REMODEL AHU 16 PENTHOUSE	\$ 45,000	\$ -	\$ -	\$ -
RRC - RETROFIT ALL PARKING LOT LIGHTING WITH NEW LED FIXTURES	\$ 200,000	\$ -	\$ -	\$ -
LHM - MPDC CARPET REPLACEMENT	\$ 100,000	\$ -	\$ -	\$ -
SCC - REMODEL RESTROOMS NORTH & SOUTH OF GRAND THEATER.	\$ 50,000	\$ -	\$ -	\$ -
RRC - CP UPGRADE CENTRAL PLANT CONTROLS	\$ 30,000	\$ -	\$ -	\$ -
RRC -INSTALL INSTANT WATER HEATERS CAMPUS-WIDE	\$ 100,000	\$ -	\$ -	\$ -
JC - INSTALL A FREE COOLING SYSTEM	\$ 185,000	\$ -	\$ -	\$ -
RRC - REPLACE AMPHITHEATER & S&I WALKWAY LIGHTING	\$ 65,000	\$ -	\$ -	\$ -
SCC - REPLACE CROWN MOLDING IN 3RD FLOOR HALL	\$ 30,000	\$ -	\$ -	\$ -
RRC - ADD COOLING TO HEAT PLANT OFFICES	\$ 30,000	\$ -	\$ -	\$ -
RRC - COMPLETE PROMIMITY LOCK INSTALLATION	\$ 400,000	\$ -	\$ -	\$ -
LHM/MBC - COMPLETE PROMIMITY LOCK INSTALLATION	\$ 300,000	\$ -	\$ -	\$ -
RRC - TUNNEL LEAKAGE REPAIR	\$ 250,000	\$ -	\$ -	\$ -
SCC - REPAIR & REPLACE PIPE INSULATIONS THOUGHOUT THE BASEMENT	\$ 35,000	\$ -	\$ -	\$ -
RRC - INSULATE ALL PIPING	\$ 75,000	\$ -	\$ -	\$ -
	\$ 5,742,000	\$ 1,324,379	\$ 3,378,783	\$ 4,383,566
Snow College				
Washburn Building Trane A/C Unit Replacement - (Richfield)	\$ 90,000	\$ 110,000	\$ 110,000	\$ 110,000
Washburn Building Roof Replacement - Phase 1 of 2 (Richfield)	\$ 336,000	\$ 452,295	\$ 452,295	\$ 452,295
Replacing Aging Irrigation System on Ephraim campus - (Ephraim)	\$ 900,000	\$ -	\$ 900,000	\$ 900,000
Emergency Lighting and Exit Signs for the Tunnel System - (Ephraim)	\$ 50,000	\$ -	\$ -	\$ 50,000
Power Correction Panel For Washburn Building - (Richfield)	\$ 35,000	\$ -	\$ -	\$ 35,000
Campus Outside Lighting - (Ephraim)	\$ 310,000	\$ -	\$ -	\$ 310,000
Evap Section In Sevier Valley Center - (Richfield)	\$ 25,000	\$ -	\$ -	\$ -
Richfield Campus Parking Lot Security Lighting	\$ 50,000	\$ -	\$ -	\$ 50,000
Micro Slurry For The North Parking Lot - (Richfield)	\$ 66,000	\$ -	\$ -	\$ -
Noyes Administration Exterior Restoration	\$ 230,000	\$ -	\$ -	\$ 230,000
	\$ 2,092,000	\$ 562,295	\$ 1,462,295	\$ 2,137,295

Southern Utah University				
Multipurpose Center Reroof	\$ 350,000	\$ 467,500	\$ 467,500	\$ 467,500
Fire lane approaches campus wide	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000
Chiller Replacement: Hunter Conference Center	\$ 182,000	\$ 202,000	\$ 202,000	\$ 202,000
Electronic Access Control Phase II	\$ 180,000	\$ -	\$ 180,000	\$ 180,000
Elevator Modernization: Bennion Administration Building	\$ 95,000	\$ -	\$ 95,000	\$ 95,000
Parking lot repairs: Bennion Administration Building	\$ 140,000	\$ -	\$ 195,000	\$ 195,000
Elevator Modernization: Hunter Conference Center	\$ 94,000	\$ -	\$ 94,000	\$ 94,000
Concrete Replacement	\$ 180,000	\$ -	\$ 180,000	\$ 180,000
Stage Lift Repair: Auditorium	\$ 118,000	\$ -	\$ 118,000	\$ 118,000
Exterior Walkway and Parking Lot Lighting Improvements	\$ 180,000	\$ -	\$ 180,000	\$ 180,000
Elevator Modernization: Science Building	\$ 98,000	\$ -	\$ 98,000	\$ 98,000
Medium Voltage Switching System Upgrade Randall Jones	\$ 95,000	\$ -	\$ 95,000	\$ -
Medium Voltage Cabling Replacement - Phase II	\$ 200,000	\$ -	\$ -	\$ 200,000
Tennis and Pickle ball Court Replacement: PE building	\$ 250,000	\$ -	\$ -	\$ 250,000
Water Supply Study: Mountain Center	\$ 20,000	\$ -	\$ 34,000	\$ 34,000
Path of Travel/ Landscaping: Hunter Conference Center	\$ 410,000	\$ -	\$ -	\$ -
Boiler #3 Replacement: Heat Plant	\$ 1,200,000	\$ -	\$ -	\$ -
Chiller replacement: General Classroom	\$ 185,000	\$ -	\$ -	\$ -
Storm Water Drainage Improvements: 1150 West	\$ 85,000	\$ -	\$ -	\$ -
Medium Voltage Extension: West Campus	\$ 185,000	\$ -	\$ -	\$ -
Mountain Center Well	\$ 150,000	\$ -	\$ -	\$ -
Water Conservation: Connect Irrigation to Cedar City Pressurized System	\$ 225,000	\$ -	\$ -	\$ -
Upgrade Multipurpose Building according to Master Plan priorities	\$ 600,000	\$ -	\$ -	\$ -
Extend Loading Dock: Receiving	\$ 200,000	\$ -	\$ -	\$ -
Press Box and Locker Room Improvements: Coliseum	\$ 350,000	\$ -	\$ -	\$ -
Replace Steam System: Multipurpose	\$ 215,000	\$ -	\$ -	\$ -
Xeriscaping Projects: Various Sites	\$ 50,000	\$ -	\$ -	\$ -
Replace Electrical Switch boards: Business, Bennion & Technology buildings	\$ 175,000	\$ -	\$ -	\$ -
	\$ 6,312,000	\$ 769,500	\$ 2,038,500	\$ 2,393,500
U of U				
Utility Distribution Infrastructure Replacement (High Voltage/High Temp Water)	\$ 27,100,000	\$ 6,750,000	\$ 6,750,000	\$ 6,750,000
HTW Plant - Replacement Boiler #2	\$ 2,496,000	\$ 315,800	\$ 1,651,700	\$ 2,496,000
Field House Modifications to House Central Chiller Plant	\$ 2,087,000	\$ -	\$ 2,087,000	\$ 2,087,000
Infrastructure Debt Service	\$ 1,300,000	\$ -	\$ -	\$ 1,300,000
HPER Chiller Plant Upgrade	\$ 2,033,900	\$ -	\$ 2,033,900	\$ 2,326,500
Social & Behavioral Science - Seismic Upgrade at Basement & Part of Classroom Levels	\$ 2,500,000	\$ -	\$ 2,500,000	\$ 2,500,000
Art & Architecture Complex - Fume Hood & Fire Protection Upgrades	\$ 2,237,400	\$ -	\$ 2,237,400	\$ 2,048,000
Marriott Library HVAC System Upgrade	\$ 2,494,200	\$ -	\$ -	\$ -
Fletcher Physics Bldg Chiller System Upgrade	\$ 569,400	\$ -	\$ -	\$ -
BioMedical Polymers Elevator Renovation	\$ 375,000	\$ -	\$ -	\$ -
Circulation Improvements - Humanities Area	\$ 450,000	\$ -	\$ -	\$ -
Study & Design Funds	\$ 150,000	\$ -	\$ 75,000	\$ 150,000
Campus Fire Alarm Reporting System Upgrade	\$ 400,000	\$ -	\$ -	\$ -
Social & Behavioral Science Bldg Refurbish Chiller	\$ 720,400	\$ -	\$ -	\$ -
Merrill Engineering Bldg, Comprehensive Condition Assessment	\$ 200,000	\$ -	\$ -	\$ -
Campus Site Lighting Upgrade - West Campus	\$ 311,300	\$ -	\$ -	\$ -
HEDCO - Replace Fire Alarm System & Install Fire Sprinkler System	\$ 450,000	\$ -	\$ -	\$ -
HPER Mall Storm Water Retention/Drainage System	\$ 1,000,000	\$ -	\$ -	\$ -
Historical Buildings Stair Replacement	\$ 400,000	\$ -	\$ -	\$ -
Develop Secondary Water System for Landscape Irrigation - Central Area	\$ 1,500,000	\$ -	\$ -	\$ -
Sidewalk - East Side of Mario Capecchi	\$ 300,000	\$ -	\$ -	\$ -
HEB Chemical Storage Room Code Upgrades	\$ 210,000	\$ -	\$ -	\$ -
Annex Bldg - Install Fire Alarm System	\$ 600,000	\$ -	\$ -	\$ -
ROOFING				
Architecture Building Reroof	\$ 275,000	\$ -	\$ 278,200	\$ 278,200
HEB South Reroof	\$ 250,000	\$ -	\$ -	\$ 288,000
Student Services Building Reroof	\$ 375,000	\$ -	\$ -	\$ -
PAVING				
Fort Douglas Blvd Paving Replacement	\$ 550,000	\$ -	\$ -	\$ 450,000
President's Circle Paving Replacement	\$ 50,000	\$ -	\$ -	\$ -
	\$ 51,384,600	\$ 7,065,800	\$ 17,613,200	\$ 20,673,700

Utah State University					
Old Main reroof (flat areas only)	\$ 125,000	\$ -	\$ 125,000	\$ 125,000	
Fine Arts Center Roofing (recoat)	\$ 430,000	\$ 430,000	\$ 430,000	\$ 430,000	
Price Campus: Career Center Electrical System Upgrade & Roof Replacement	\$ 900,000	\$ 900,000	\$ 900,000	\$ 900,000	
NFS Mechanical System PH I	\$ 700,000	\$ 700,000	\$ -	\$ -	
Campus-Wide Chilled Water Upgrades	\$ 350,000	\$ 350,000	\$ -	\$ -	
Campus-Wide Health, Life Safety, Code Compliance & Asbestos Abatement	\$ 150,000	\$ -	\$ 150,000	\$ 150,000	
Student Health and Wellness	\$ 175,000	\$ -	\$ 175,000	\$ 175,000	
Campus Concrete Replacement	\$ 250,000	\$ -	\$ 250,000	\$ 250,000	
Campus-Wide Electronic Access Control	\$ 60,000	\$ -	\$ 60,000	\$ 60,000	
Campus-Wide HVAC Controls Upgrade	\$ 250,000	\$ -	\$ 250,000	\$ 250,000	
Campus-Wide Emergency Generator	\$ 250,000	\$ -	\$ 250,000	\$ 250,000	
Medium Voltage Upgrade	\$ 500,000	\$ -	\$ 500,000	\$ 500,000	
Price Campus: Infrastructure Upgrade Blanding Campus: Bldg Automation System	\$ 500,000	\$ -	\$ 500,000	\$ 500,000	
BNR Fire Protection Upgrade	\$ 700,000	\$ -	\$ 700,000	\$ 700,000	
U. Inn to Widstoe Steam Line Replacement	\$ 480,000	\$ -	\$ -	\$ -	
Campus-Wide Classroom and Auditorium Upgrades	\$ 300,000	\$ -	\$ 300,000	\$ 300,000	
Campus-Wide Sign System	\$ 50,000	\$ -	\$ 50,000	\$ 50,000	
Campus Elevator Upgrades	\$ 400,000	\$ -	\$ 400,000	\$ 400,000	
1200 East walk way, utility, landscape and lighting	\$ 950,000	\$ -	\$ -	\$ 950,000	
OM Masonry Restoration	\$ 250,000	\$ -	\$ 125,000	\$ 200,000	
South Farm Paving and Fire Hydrants	\$ 150,000	\$ -	\$ -	\$ -	
Parking Lot Paving	\$ 725,000	\$ -	\$ -	\$ -	
Eccles Conf Center Auditorium	\$ 550,000	\$ -	\$ 550,000	\$ 550,000	
Morgan Theater upgrade	\$ 1,500,000	\$ -	\$ -	\$ 1,500,000	
Planning and Design Fund	\$ 100,000	\$ -	\$ 50,000	\$ 100,000	
Misc Critical Improvements	\$ 250,000	\$ -	\$ -	\$ -	
Replace steam & chilled water piping and refurbish existing tunnel located North of Ray B West and Family Life.	\$ 850,000	\$ -	\$ -	\$ -	
HPER Swimming Pool	\$ 130,000	\$ -	\$ -	\$ -	
Campus-Wide Irrigation & Landscape Upgrades	\$ 175,000	\$ -	\$ -	\$ -	
Site & Safety Lighting	\$ 350,000	\$ -	\$ 350,000	\$ 350,000	
Campus-Wide Chiller Delta-T	\$ 150,000	\$ -	\$ -	\$ -	
Kent Concert Hall Ceiling Replacement	\$ 1,500,000	\$ -	\$ -	\$ -	
Additional Chiller at CEP	\$ 1,500,000	\$ -	\$ -	\$ -	
ADA Access for Information Services	\$ 50,000	\$ -	\$ -	\$ -	
Sewer Line & MH Replacement	\$ 400,000	\$ -	\$ -	\$ -	
Water Lab front bridge	\$ 500,000	\$ -	\$ -	\$ -	
Upgrade Water Irrigation Infrastructure	\$ 900,000	\$ -	\$ -	\$ -	
Price Campus: West Instruction Bldg. HVAC & Fire System Upgrade	\$ 650,000	\$ -	\$ -	\$ -	
Price Campus: Geary Theatre Phase I Fire System & Seismic Upgrade	\$ 1,500,000	\$ -	\$ -	\$ -	
Price Campus: Geary Theatre Phase II HVAC System & Electrical Upgrade	\$ 1,500,000	\$ -	\$ -	\$ -	
Price Campus: Geary Theatre Phase III Exterior, Lighting & Plumbing Upgrade	\$ 1,500,000	\$ -	\$ -	\$ -	
Price Campus: Geary Theatre Phase IV ADA Upgrade	\$ 1,500,000	\$ -	\$ -	\$ -	
Price Campus: Purchasing/ Receiving HVAC & Electrical Upgrade	\$ 500,000	\$ -	\$ -	\$ -	
Price Campus: Purchasing/Receiving Phase II Fire System & Plumbing Upgrade	\$ 450,000	\$ -	\$ -	\$ -	
Price Campus: Career Center Window & Door Upgrade	\$ 946,543	\$ -	\$ -	\$ -	
	\$ 26,096,543	\$ 2,380,000	\$ 6,115,000	\$ 8,690,000	
USU/Eastern					
Utah Valley University					
Pope Science, Gunther Trades Buildings: Fire Door Repair And Replacement	\$ 80,000	\$ 80,000	\$ 80,000	\$ 80,000	
Fire Science Building: Replace HVAC Units	\$ 140,000	\$ 140,000	\$ 140,000	\$ 140,000	
Health Professions Building: Replace Chiller	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	
PE Building/South Activity Center: HVAC Repairs	\$ 70,000	\$ 140,000	\$ 140,000	\$ 140,000	
Science, Pope Science Buildings: Replace Air Supply Fans	\$ 300,000	\$ 300,000	\$ 300,000	\$ 300,000	
Woodbury Business Building: Replace AHU-1	\$ 500,000	\$ 500,000	\$ 500,000	\$ 500,000	
Woodbury Business Building: Replace AHU-2	\$ 500,000	\$ -	\$ 500,000	\$ 500,000	
Extended Education Building: Replace Existing Elevator	\$ 125,000	\$ -	\$ 125,000	\$ 125,000	
Extended Education Building, UCAS Building, Fire Science Building: Replace Fire Alarm Systems	\$ 200,000	\$ -	\$ 200,000	\$ 200,000	
Wolverine Service Center: Exterior Skin Replacement	\$ 150,000	\$ -	\$ 150,000	\$ 150,000	
Liberal Arts Building: Replace VAV Controllers And Reheat Valves	\$ 70,000	\$ -	\$ 100,000	\$ 100,000	
Browning Administration Building - Lower Level: Replace VAV Controllers	\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000	
Browning Administration Building: Heating And Cooling Lines	\$ 80,000	\$ -	\$ 80,000	\$ 80,000	
Browning Administration Building: Replace Controllers	\$ 20,000	\$ -	\$ 20,000	\$ 20,000	
Central Plant 1: Cooling Tower Repair	\$ 100,000	\$ -	\$ 100,000	\$ 100,000	
Browning Administration Building: Fan Coil For BA-115	\$ 40,000	\$ -	\$ 40,000	\$ 40,000	
UVU Campus Parking Lots: Replace Exterior Parking Lot Lights Campus Wide	\$ 120,000	\$ -	\$ 120,000	\$ 120,000	
Woodbury Buisness Building Restrooms	\$ 300,000	\$ -	\$ 300,000	\$ 300,000	
Browning Administration Building Hall of Flags Roof Drain Replacement	\$ 30,000	\$ -	\$ 30,000	\$ 30,000	
Fire Science Building: Roof Repairs	\$ 80,000	\$ -	\$ 80,000	\$ 80,000	
Faculty Annex Building Roof Skylight Repair	\$ 52,000	\$ -	\$ 52,000	\$ 52,000	
Sparks Automotive Building: Replace Existing Hot Water Lines	\$ 100,000	\$ -	\$ 100,000	\$ 100,000	
UVU Campus Roads: Asphalt Repairs Campus Wide	\$ 300,000	\$ -	\$ -	\$ 300,000	
Exterior Painting GT, LC, PS, WB	\$ 160,000	\$ -	\$ -	\$ 160,000	
	\$ 3,767,000	\$ 1,330,000	\$ 3,327,000	\$ 3,787,000	

Weber State University				
Student Overflow Parking Lot and Site Improvements Phase IV	\$ 600,000	\$ 600,000	\$ 600,000	\$ 600,000
Phase III: High Voltage Substation and Building Switching Upgrades	\$ 416,500	\$ 416,500	\$ 416,500	\$ 416,500
Phase IV: Steam Tunnel Repairs	\$ 510,000	\$ -	\$ 510,000	\$ 510,000
Dee Events Center Concrete and Stair Replacement (south)	\$ 340,000	\$ 340,000	\$ 340,000	\$ 340,000
Stewart Library Mechanical & Electrical Infrastructure Upgrade	\$ 1,250,000		\$ 1,250,000	\$ 1,250,000
Campus Parking Repairs and Renovations (D2, A10, W8, S1)	\$ 700,000		\$ -	\$ 700,000
Campus Master Plan	\$ 250,000		\$ 250,000	\$ 250,000
WSU Electrical Distribution Transformer Replacement	\$ 380,000			\$ 380,000
	\$ 18,722,327	\$ 1,356,500	\$ 3,366,500	\$ 4,446,500
University/College TOTALS				
	\$ 121,625,470	\$ 15,327,974	\$ 38,699,415	\$ 48,337,698
UCAT				
Bridgerland ATC				
West Campus Restroom-Code Compliance and water hammer project-Flood Hazard	\$ 290,000	\$ 290,000	\$ 290,000	\$ 290,000
West Campus HVAC System Replacement-Phase III	\$ 500,000		\$ 500,000	\$ 500,000
Main Campus Cabinetmaking Sawdust Collection System Replacement-Fire Hazard	\$ 100,000	\$ -	\$ -	\$ 120,000
Main Campus HVAC System Replacement (this project could be phased)	\$ 4,988,000			
	\$ 5,878,000	\$ 290,000	\$ 790,000	\$ 910,000
Davis ATC				
Boiler Replacement 2nd Floor	\$ 225,000	\$ 225,000	\$ 225,000	\$ 225,000
Air Handler Replacement PH II	\$ 296,000	\$ -	\$ 400,000	\$ 550,000
Concrete Through Drains	\$ 520,965			\$ -
Kitchen Expansion	\$ 400,000		\$ -	\$ -
DATC Access Control Upgrade	\$ 40,000		\$ 40,000	\$ 40,000
	\$ 1,481,965	\$ 225,000	\$ 665,000	\$ 815,000
DXATC				
Training Center Communication Cabling & IT	\$ 35,000	\$ 35,000	\$ 35,000	\$ 35,000
Training Center Parking Lot Upgrade	\$ 52,000	\$ 52,000	\$ 52,000	\$ 52,000
Training Center Covered Training Facility	\$ 58,000	\$ 58,000	\$ 58,000	\$ 100,000
Training Center Shower Upgrade	\$ 26,000		\$ 26,000	\$ 26,000
	\$ 171,000	\$ 145,000	\$ 171,000	\$ 213,000
Mountain land ATC				
Phase 3 of Geneva building upgrade and remodel	\$ 350,000	\$ -	\$ 692,750	\$ 692,750
	\$ 350,000	\$ -	\$ 692,750	\$ 692,750
Ogden/Weber ATC				
Main Campus: Business Building Chiller Replacement/Boiler Soft Water System Upgrade	\$ 500,000		\$ 500,000	\$ 500,000
Main Campus: Campus-wide Exterior Lighting Upgrade	\$ 300,000	\$ 300,000	\$ 250,000	\$ 300,000
BDO Campus: Seismic, Code, Insulation, Heating, and Cooling - Bay 2	\$ 1,500,000			
Main Campus: Phase 2 - College Restroom Upgrade/CSS Re-purpose	\$ 750,000		\$ -	
Main Campus: Construction Tech/Manufacturing Tech Culinary Water System Upgrade	\$ 500,000			
Main Campus: Secondary Water System and Lower Pump House Upgrade	\$ 350,000			
Main Campus: Campus-wide Parking Lots Upgrade	\$ 435,000			
Main Campus: Campus-wide Door Access System	\$ 350,000			
	\$ 4,685,000	\$ 300,000	\$ 750,000	\$ 800,000
Uintah Basin ATC				
Combined Exterior Door Replacement and Access Controls Security Improvements	\$ 568,500		\$ 568,500	\$ 568,500
Electronic Door Lock & Security System	\$ 185,000		\$ -	\$ -
Replace Exterior Doors - Phase 1	\$ 118,000	\$ 118,000	\$ -	\$ -
Replace Exterior Doors - Phase 2	\$ 118,000	\$ 118,000	\$ -	\$ -
Fire Alarm System Replacement	\$ 289,579		\$ -	\$ -
Window Replacement	\$ 488,803			
Upgrade Electrical Service	\$ 274,117			
Electrical System Repairs	\$ 114,912			
Refinish Flooring	\$ 549,128			
Restroom Renovation	\$ 178,387			
Site Paving Upgrades	\$ 148,704			
	\$ 3,033,130	\$ 236,000	\$ 568,500	\$ 568,500
Tooele ATC				
Overhead door and tool room Improvements	\$ 75,000		\$ -	\$ 75,000
	\$ 75,000	\$ -	\$ -	\$ 75,000
UCAT TOTALS				
		\$ 1,196,000	\$ 3,637,250	\$ 4,074,250
Higher Education TOTALS				
		\$ 16,523,974	\$ 42,336,665	\$ 52,411,948

State Agencies					
Agriculture					
Ogden Grain Lab Asbestos Abatement	\$ 60,000	\$ 60,000	\$ 60,000	\$ 60,000	\$ 60,000
UTAH DEPARTMENT OF AGRICULTURE AND FOOD 01648 Boiler Replacement	\$ 200,000		\$ 149,647	\$ 149,647	
UTAH DEPARTMENT OF AGRICULTURE AND FOOD 01648 Fume Hood Replacement	\$ 502,950				
UTAH DEPARTMENT OF AGRICULTURE AND FOOD 01648 Exterior Finish Upgrades	\$ 343,709				
UTAH DEPARTMENT OF AGRICULTURE AND FOOD 01648 Lab Suite Comprehensive Renovation	\$ 2,142,000				
UTAH DEPARTMENT OF AGRICULTURE AND FOOD 01648 Comprehensive Elevator / Lift Modernizations	\$ 536,469				
New Nephi Veterinary Building	\$ 744,800				\$ 744,800
	\$ 4,529,928	\$ 60,000	\$ 209,647	\$ 954,447	
Alcoholic Beverage Control					
(DFCM) ABC-30-LAYTON 02902 Fire Alarm System Upgrades	\$ 11,947	\$ 14,000	\$ 14,000	\$ 14,000	\$ 14,000
(DFCM) ABC #16 SANDY 08940 Fire and Security Panel Upgrade	\$ 10,500	\$ 15,000	\$ 15,000	\$ 15,000	\$ 15,000
(DFCM) ABC # 11 MAGNA/ 9460 Safety Rail and Non-Slip Pads to Roof.	\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000
(DFCM) AB23-ROY 04824 Replace Rooftop Package Units	\$ 34,185	\$ 40,000	\$ 40,000	\$ 40,000	\$ 40,000
(DFCM) ABC #5 PROVO 06280 Replace Dock Leveler	\$ 20,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000
(DFCM) ABC #14 EAST MILLER 03902 Replace/Repair Concrete Parking Lot	\$ 45,000	\$ 45,000	\$ 45,000	\$ 45,000	\$ 45,000
(DFCM) ABC #10 TOOELE 09517 Replace Sliding Entry Doors	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000
(DFCM) ABC #16 08940 SANDY Stainless Steel Handrailing	\$ 10,000	\$ -	\$ 10,000	\$ 10,000	\$ 10,000
(DFCM) ABC #31 DRAPER 9470 Stainless Steel Handrailing	\$ 10,000	\$ -	\$ 10,000	\$ 10,000	\$ 10,000
(DFCM) ABC #40 RIVERTON 10473 Stainless Steel Handrailing	\$ 10,000	\$ -	\$ 15,000	\$ 15,000	\$ 15,000
(DFCM) ABC # 14 EAST MILLER 03902 Door Hardware Modification	\$ 15,000	\$ -	\$ 15,000	\$ 15,000	\$ 15,000
(DFCM) AB23-ROY 04824 Combined Projects -Signage Upgrade,Stair Handrail Upgrade, Exterior Lighting, Electrical Pa	\$ 16,607	\$ -	\$ 19,000	\$ 19,000	\$ 19,000
(DFCM) AB19-OGDEN 06285 Combined Projects-Lever Handle Door Hardware, Stair Handrail Upgrade, Switches Electri	\$ 13,048	\$ -	\$ 15,500	\$ 15,500	\$ 15,500
(DFCM) AB22- BRIGHAM 06509 Combined Projects-Lever Handle Door Hardware, Stair Handrail Building Signage Impro	\$ 13,609	\$ -	\$ 15,500	\$ 15,500	\$ 15,500
(DFCM) ABC #10 TOOELE 09517 Non-slip Pads on Roof.	\$ 10,000	\$ -	\$ 10,000	\$ 10,000	\$ 10,000
(DFCM) ABC #10 TOOELE 09517 Replace East Entrance Sidewalk	\$ 5,350	\$ -	\$ 5,350	\$ 5,350	\$ 5,350
(DFCM) AB23-ROY 04824 Power Assisted Door Opener & (Dock Lift added after CBE)	\$ 14,362	\$ -	\$ 30,000	\$ 30,000	\$ 30,000
(DFCM) ABC # 13 NORTH TEMPLE / 8733 Non slip Pads to Roof	\$ 10,000	\$ -	\$ 10,343	\$ 10,343	\$ 10,343
(DFCM) ABC PARK CITY UTE BOULEVARD #37 08623 Energy Efficiency Lighting Project	\$ 70,000	\$ -	\$ 70,000	\$ 70,000	\$ 70,000
(DFCM) ABC ADMINISTRATIVE OFFICE 01639 Carpet Replacement	\$ 45,000	\$ -	\$ 79,000	\$ 79,000	\$ 79,000
	\$ 514,609	\$ 289,000	\$ 593,693	\$ 593,693	
Capitol Preservation Board					
STATE CAPITOL BUILDING 0493 Renovation, Repoint Steps, Upgrade Lighting for Mormon Battalion	\$ 700,000	\$ 998,750	\$ 1,003,000	\$ 1,003,000	\$ 1,003,000
STATE SENATE BUILDING 09626 HVAC System in Control Room	\$ 35,000	\$ -	\$ 41,563	\$ 41,563	\$ 41,563
DAUGHTERS OF THE UTAH PIONEERS MUSEUM 00497 Asbestor Removal	\$ 25,000	\$ -	\$ 29,688	\$ 29,688	\$ 29,688
STATE OFFICE BUILDING 00494 Replace Fire System	\$ 500,000	\$ -	\$ 256,113	\$ 256,113	\$ 256,113
STATE CAPITOL BUILDING 0493 Re-cladding Dome Windows	\$ 60,000	\$ -	\$ 71,250	\$ 71,250	\$ 71,250
STATE CAPITOL BUILDING 0493 Re-painting window sills	\$ 160,000	\$ -	\$ 175,600	\$ 175,600	\$ 175,600
GOED-Utah Office of Tourism 00496 Council Hall New Break Room	\$ 25,000	\$ -	\$ 29,688	\$ 29,688	\$ 29,688
CAPITOL PRESERVATION BOARD MISCELLANEOUS	\$ 150,000	\$ -	\$ -	\$ -	\$ -
Capitol Hill Signage Upgrade	\$ 85,000	\$ -	\$ 96,588	\$ 96,588	\$ 96,588
CENTRAL PLANT 01763 Install Backup Chiller for Capitol Complex	\$ 883,356	\$ -	\$ -	\$ -	\$ -
	\$ 2,623,356	\$ 998,750	\$ 1,703,490	\$ 1,703,490	
Community And Culture					
(DFCM) RIO GRANDE DEPOT 01654 Exterior lighting replacement	\$ 20,000	\$ 24,336	\$ -	\$ 24,336	\$ 24,336
(DFCM) RIO GRANDE DEPOT 01654 Replace Exterior Doors and Hardware at Building and Café	\$ 110,000	\$ -	\$ 133,846	\$ 133,846	\$ 133,846
(DFCM) RIO GRANDE DEPOT 01654 Exterior window replacement or restoration.	\$ 393,000	\$ -	\$ -	\$ -	\$ -
DFCM Rio Grande Security Upgrades	\$ 50,000	\$ -	\$ -	\$ 50,000	\$ 50,000
(DFCM) UTAH FINE ARTS GLENNDENNING BLDG 01633 Carpet Replacement Second Floor	\$ 25,000	\$ 25,000	\$ -	\$ -	\$ -
	\$ 598,000	\$ 49,336	\$ 133,846	\$ 208,182	

Corrections					
Orange Street Interior Paint	\$ 41,712	\$ 41,712	\$ 41,712	\$ 41,712	\$ 41,712
Draper-Transportation Bldg. HVAC	\$ 32,892	\$ 30,696	\$ 30,696	\$ 30,696	\$ 30,696
Orange St- Security cameras / card readers	\$ 36,600	\$ 43,690	\$ 43,690	\$ 43,690	\$ 43,690
Draper-Sewer Chopper (muffin monster)	\$ 64,982	\$ 65,025	\$ 65,025	\$ 65,025	\$ 65,025
Draper-Oquirrh & Uinta swamp coolers	\$ 63,305	\$ 63,348	\$ 63,348	\$ 63,348	\$ 63,348
Draper-SAB HVAC upgrade	\$ 251,661	\$ 251,830	\$ 251,830	\$ 251,830	\$ 251,830
Draper-Olympus HVAC upgrade	\$ 450,000	\$ 450,751	\$ 450,751	\$ 450,751	\$ 450,751
Draper-Admin Lightning protection	\$ 72,547	\$ 70,000	\$ -	\$ -	\$ 70,000
CUCF-Asphalt-reduced scope	\$ 364,675	\$ -	\$ 364,675	\$ 364,675	\$ 364,675
AP&P Fremont- HVAC mechanical upgrade	\$ 125,416	\$ -	\$ 144,554	\$ 144,554	\$ 144,554
CUCF-Admin Plumbing Pipe replacement	\$ 198,000	\$ -	\$ 198,000	\$ 198,000	\$ 198,000
NUCCS Smoke/ fire detection upgrade	\$ 61,000	\$ -	\$ 61,000	\$ 61,000	\$ 61,000
CUCF-Cameras Visiting, UCI, Mega building, Medical	\$ 227,150	\$ -	\$ 227,150	\$ 227,150	\$ 227,150
AP&P Region III- backflow preventers	\$ 19,520	\$ -	\$ 19,520	\$ 19,520	\$ 19,520
AP&P Bonneville- Camera Upgrade	\$ 29,890	\$ -	\$ 29,890	\$ 29,890	\$ 29,890
Orange St-Fremont- Freezer/cooler upgrade	\$ 34,160	\$ -	\$ 34,160	\$ 34,160	\$ 34,160
Fremont- Camera Upgrade / card readers	\$ 34,102	\$ -	\$ 34,102	\$ 34,102	\$ 34,102
Draper-Oq 1-4 waterproofing	\$ 22,875	\$ -	\$ -	\$ -	\$ 22,938
(DFCM) AP&P DOWNTOWN FREMONT Region 3 08518 VAV Box Upgrades	\$ 50,000	\$ -	\$ 62,929	\$ 62,929	\$ 62,929
(DFCM) AP&P DOWNTOWN FREMONT Region 3 08518 New Roof	\$ 140,000	\$ -	\$ 171,274	\$ 171,274	\$ 171,274
CUCF-Carpet- Henry's & Admin	\$ 168,257	\$ -	\$ 123,131	\$ 123,131	\$ 123,131
AP&P Bonneville-HVAC units/ Renzor unit	\$ 119,560	\$ -	\$ 119,560	\$ 119,560	\$ 119,560
CUCF-Shooting Range	\$ 79,117	\$ -	\$ -	\$ -	\$ 79,117
Bonneville - Exterior paint/ exterior repairs	\$ 51,667	\$ -	\$ -	\$ -	\$ 51,667
Fremont- exterior paint/repair	\$ 46,433	\$ -	\$ -	\$ -	\$ 46,433
Freemont Interior Repaint	\$ 44,957	\$ -	\$ -	\$ -	\$ 44,957
CUCF-Motor Pool Remodel	\$ 285,215	\$ -	\$ -	\$ -	\$ 285,215
Bonneville- Staff station entry	\$ 29,280	\$ -	\$ -	\$ -	\$ 29,280
CUCF-Warehouse Air Handler	\$ 109,800	\$ -	\$ 109,800	\$ 109,800	\$ 109,800
Fremont Community Shower Repairs	\$ 12,200	\$ -	\$ -	\$ -	\$ 75,000
(DFCM) CEDAR CITY AP&P 04898 Piering Foundation Walls	\$ 60,000	\$ -	\$ -	\$ -	\$ -
	\$ 3,326,973	\$ 1,017,052	\$ 2,646,797	\$ 3,351,404	\$ 3,351,404
Courts					
Matheson security cameras system project	\$ 975,000	\$ 975,000	\$ 975,000	\$ 975,000	\$ 975,000
Ogden District security project	\$ 50,000	\$ -	\$ 50,000	\$ 50,000	\$ 50,000
Ogden courthouse elevator replacement/repair	\$ 400,000	\$ -	\$ 400,000	\$ 400,000	\$ 400,000
West Valley Probation -Boiler replacement	\$ 65,000	\$ -	\$ 99,776	\$ 99,776	\$ 99,776
Richfield -Fire alarm & fire sprinkler panel project and electrical, water & gas separation project	\$ 270,000	\$ -	\$ 269,100	\$ 269,100	\$ 269,100
Vernal - Security control room air conditioning (split system)	\$ 30,000	\$ -	\$ 30,000	\$ 30,000	\$ 30,000
Brigham City -Interior lighting upgrade and exit sign replacement	\$ 160,000	\$ -	\$ 160,000	\$ 160,000	\$ 160,000
Provo Juvenile -Boiler and VAV box replacement	\$ 280,000	\$ -	\$ -	\$ -	\$ 280,000
Ogden District Window sealant at window/door joists repairs	\$ 45,000	\$ -	\$ 45,000	\$ 45,000	\$ 45,000
Tooele -Prisoner transport tunnel concrete project	\$ 175,000	\$ -	\$ 19,468	\$ 19,468	\$ 19,468
Richfield -HVAC controls and VAV controllers replacement	\$ 60,000	\$ -	\$ 60,000	\$ 60,000	\$ 60,000
Brigham City - Exhaust fan replacement	\$ 65,000	\$ -	\$ 65,000	\$ 65,000	\$ 65,000
Matheson - Courtroom sound system replacement Phase 1	\$ 500,000	\$ -	\$ 500,258	\$ 500,258	\$ 500,258
Logan - Security camera DVR upgrade and camera installation	\$ 50,000	\$ -	\$ 50,000	\$ 50,000	\$ 50,000
Richfield -Attorney client room remodel	\$ 100,000	\$ -	\$ 100,000	\$ 100,000	\$ 100,000
Layton -GAL office study	\$ 50,000	\$ -	\$ -	\$ -	\$ -
Farmington -Preventative roof repairs	\$ 20,000	\$ -	\$ -	\$ -	\$ -
Matheson -Secure holding area plumbing repairs and upgrades	\$ 75,000	\$ -	\$ -	\$ -	\$ -
Layton -Wall fabric removal & painting upholstery courtroom benches	\$ 75,000	\$ -	\$ -	\$ -	\$ -
Provo Juvenile -Probation office carpet replacement	\$ 30,000	\$ -	\$ -	\$ -	\$ -
Tooele -Add separate water meter for irrigation	\$ 27,000	\$ -	\$ -	\$ -	\$ -
Farmington -Public waiting seating reupholster project	\$ 6,000	\$ -	\$ -	\$ -	\$ -
Farmington -Main entry reconfiguration-Farmington	\$ 40,000	\$ -	\$ -	\$ -	\$ -
Ogden District -Perimeter bollards-Ogden	\$ 50,000	\$ -	\$ -	\$ -	\$ -
Matheson -Replace window coverings	\$ 300,000	\$ -	\$ -	\$ -	\$ -
Tooele - Install covered parking canopy	\$ 186,180	\$ -	\$ -	\$ -	\$ -
St George Courts Exterior Masonry Repair	\$ 75,000	\$ -	\$ -	\$ -	\$ 75,000
	\$ 4,834,180	\$ 975,000	\$ 2,823,602	\$ 3,178,602	\$ 3,178,602

DFCM					
PROVO REGIONAL CENTER 05374 Replace Main Water Line	\$ 40,000	\$ 40,000	\$ 40,000	\$ 40,000	\$ 40,000
PROVO REGIONAL CENTER 05374 Replace Parking Lot	\$ 130,000	\$ 130,000	\$ 130,000	\$ 130,000	\$ 130,000
PROVO REGIONAL CENTER 05374 Replace East Stairs and Ramp	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000
Richfield Regional center 01843 install addressable fire detection system to current codes	\$ 45,000	\$ 45,000	\$ 45,000	\$ 45,000	\$ 45,000
OGDEN REGIONAL CENTER 04916 Replace HVAC/R Components	\$ 1,472,912	\$ 1,472,912	\$ 1,472,912	\$ 1,472,912	\$ 1,472,912
OGDEN REGIONAL CENTER 04916 Parking Structure Lighting Upgrade	\$ 80,000	\$ -	\$ 80,000	\$ 80,000	\$ 80,000
BRIGHAM REGIONAL CENTER 08441 Improve Fire Sprinkling System Per Inspection Findings	\$ 14,860	\$ -	\$ 14,860	\$ 14,860	\$ 14,860
ACADEMY SQUARE 09843 Replace Refractory Material in Boilers	\$ 35,000	\$ -	\$ 35,000	\$ 35,000	\$ 35,000
CALVIN RAMPTON BUILDING 01644 Boiler Replacement & Conversion	\$ 595,000	\$ -	\$ 726,995	\$ 726,995	\$ 726,995
HEBER M WELLS 01652 Repair or Replace all Outside Air Dampeners	\$ 175,000	\$ -	\$ 219,021	\$ 219,021	\$ 219,021
BRIGHAM REGIONAL CENTER 08441 Replace Packaged HVAC Units - Units A, C, F, G	\$ 191,200	\$ -	\$ 235,000	\$ 235,000	\$ 235,000
ARCHIVES, 346 S RIO GRANDE, SLC) 01654 Dry Sprinkler Modification & Early Warning Alarm	\$ 100,000	\$ -	\$ 121,678	\$ 121,678	\$ 121,678
RICHFIELD REGIONAL CENTER 01843 parking lot repairs and replacement	\$ 143,500	\$ -	\$ 143,500	\$ 143,500	\$ 143,500
GOVERNOR'S MANSION 01655 Change Out Fire Sprinklers	\$ 40,000	\$ -	\$ 25,000	\$ 25,000	\$ 25,000
OGDEN REGIONAL CENTER 04916 Replace Soiled Ceiling Tiles	\$ 203,063	\$ -	\$ 203,063	\$ 203,063	\$ 203,063
OGDEN REGIONAL CENTER 04916 Halon Fire Suppression Alternative Upgrade	\$ 13,677	\$ -	\$ 13,677	\$ 13,677	\$ 13,677
BRIGHAM REGIONAL CENTER 08441 Replace Fire Sprinkler Heads	\$ 41,659	\$ -	\$ 41,659	\$ 41,659	\$ 41,659
HEBER M WELLS 01652 Parking Lot a Trip Hazard	\$ 90,000	\$ -	\$ 321,768	\$ 321,768	\$ 321,768
REGIONAL CENTER 2 07277 Concrete Sidewalk Replacement	\$ 30,000	\$ -	\$ 30,000	\$ 30,000	\$ 30,000
MULTI-AGENCY STATE OFFICE BUILDING / 10892 Dock Lift add	\$ 75,000	\$ -	\$ -	\$ -	\$ -
ARCHIVES, 346 S RIO GRANDE, SLC) 01654 Archives Security Fence Reinforcement	\$ 24,000	\$ -	\$ 29,203	\$ 29,203	\$ 29,203
REGIONAL CENTER 2 07277 Add Generator	\$ 250,000	\$ -	\$ -	\$ -	\$ 304,195
BRIGHAM REGIONAL CENTER 08441 Plumbing Fixture Replacements	\$ 71,173	\$ -	\$ -	\$ -	\$ 86,600
HIGHLAND DRIVE REGIONAL CENTER 12174 Install ADA Parking Stalls	\$ 50,000	\$ -	\$ -	\$ -	\$ 54,755
ARCHIVES, CLEARFIELD RECORDS CENTER 14138 Archives Cold Storage Completion	\$ 90,000	\$ -	\$ -	\$ -	\$ 90,000
1385 SOUTH STATE DWS 06625 Repair Parking Lot	\$ 110,000	\$ -	\$ -	\$ -	\$ 133,846
HEBER M WELLS 01652 Power Clean & Re-stripe & Re-number Parking Lot	\$ 80,000	\$ -	\$ -	\$ -	\$ -
PROVO REGIONAL PARKING TERRACE 09347 Replace Generator	\$ 200,000	\$ -	\$ -	\$ -	\$ -
MOAB REGIONAL CENTER 06629 Landscape and Sprinkler System Replacement	\$ 60,000	\$ -	\$ -	\$ -	\$ -
OGDEN REGIONAL CENTER 04916 Fire Sprinkler Deficiencies and Fire Pump Replacement	\$ 130,936	\$ -	\$ 130,936	\$ 130,936	\$ 130,936
ACADEMY SQUARE 09843 Install Drain in Chiller Enclosure Repair Rain Gutters and Install Heat Tape in	\$ 17,000	\$ -	\$ -	\$ -	\$ -
CALVIN RAMPTON BUILDING 01644 Revamp Air Dampers Per Engineering Audit	\$ -	\$ -	\$ -	\$ -	\$ -
1385 SOUTH STATE DWS 06625 Replace Building Hot Water Heater and Drain System	\$ 65,000	\$ -	\$ -	\$ -	\$ -
RICHFIELD REGIONAL CENTER 01843 Paint, Carpet and Finish	\$ 150,000	\$ -	\$ -	\$ -	\$ -
1385 SOUTH STATE DWS 06625 Replace HVAC Units	\$ 450,000	\$ -	\$ -	\$ -	\$ -
HIGHLAND DRIVE REGIONAL CENTER 12174 Replace Existing HVAC with Rooftop Units	\$ 450,000	\$ -	\$ -	\$ -	\$ -
REGIONAL CENTER 2 07277 Skylight Replacement	\$ 50,000	\$ -	\$ -	\$ -	\$ 86,000
Statewide Metering Project Phase 1	\$ 35,230	\$ -	\$ -	\$ -	\$ 35,230
DFCM Multi Agency Solar Photo Voltaic projects- Multi Agency Bldg and Moab Regional Center	\$ 200,000	\$ -	\$ -	\$ -	\$ 200,000
	\$ 6,029,210	\$ 1,717,912	\$ 4,089,272	\$ 5,079,898	\$ 5,079,898
Enviromental Quality					
	\$ -	\$ -	\$ -	\$ -	\$ -
Fairpark					
Barns Life Safety Structural Upgrades	\$ 2,500,000	\$ 2,500,000	\$ 2,500,000	\$ 2,500,000	\$ 2,500,000
North Sewer Line Replacement	\$ 349,764	\$ 349,764	\$ 349,764	\$ 349,764	\$ 349,764
Bonnyville Roof Replacement	\$ 140,689	\$ -	\$ 140,689	\$ 140,689	\$ 140,689
Grand Building Heat coils & Piping	\$ 85,393	\$ -	\$ 85,393	\$ 85,393	\$ 85,393
Wildlife Reroof & seismic upgrades	\$ 125,610	\$ -	\$ -	\$ -	\$ 65,000
Wildlife Building additional Seismic Upgrades	\$ 201,859	\$ -	\$ -	\$ -	\$ 201,859
Fairpark Buildings Exterior Enhancement and Upgrades	\$ 612,233	\$ -	\$ -	\$ -	\$ 612,233
Asphalt Repairs and slurry phase 2	\$ 100,000	\$ -	\$ -	\$ -	\$ 100,000
	\$ 4,115,548	\$ 349,764	\$ 575,846	\$ 1,003,315	\$ 1,003,315
Health					
(DFCM) CANNON HEALTH / 4275 Exit Signs Throughout	\$ 50,000	\$ 50,496	\$ 50,496	\$ 50,496	\$ 50,496
(DFCM) UNIFIED LAB 10849 Replace Supply Fan with Box Fans	\$ 150,000	\$ 150,272	\$ 150,272	\$ 150,272	\$ 150,272
(DFCM) CANNON HEALTH / 4275 Building Relief Fan Walls	\$ 70,000	\$ 70,573	\$ 70,573	\$ 70,573	\$ 70,573
(DFCM) 44 MEDICAL DRIVE CHILDREN'S CENTER 05849 Sidewalk Repairs	\$ 160,000	\$ -	\$ 194,747	\$ 194,747	\$ 194,747
(DFCM) CANNON HEALTH / 4275 Plumbing Fixtures Bathrooms / Partitions	\$ 100,000	\$ -	\$ 170,349	\$ 170,349	\$ 170,349
(DFCM) CANNON HEALTH / 4275 Repaint the Interior of the Building	\$ 95,000	\$ -	\$ -	\$ -	\$ 145,405
(DFCM) CANNON HEALTH / 4275 Replace Dumpster Trash Compactor	\$ 30,000	\$ -	\$ -	\$ -	\$ -
DFCM Cannon Health Window Replacement	\$ 275,000	\$ -	\$ -	\$ -	\$ 275,000
(DFCM) CANNON HEALTH / 4275 ADA Door Hardware	\$ 150,000	\$ -	\$ -	\$ -	\$ 150,000
	\$ 1,080,000	\$ 271,341	\$ 636,437	\$ 1,056,842	\$ 1,056,842
Human Services					
UDC Infrastructure Repairs	\$ 1,000,000	\$ -	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000
Rampton Replace RTU DX Cooling Units	\$ 460,000	\$ -	\$ 500,000	\$ 500,000	\$ 500,000
Transitional Living Center HVAC System Replacement	\$ 313,533	\$ -	\$ 347,581	\$ 347,581	\$ 347,581
Rampton Cafeteria	\$ 290,000	\$ -	\$ 290,000	\$ 290,000	\$ 290,000
Oakridge HVAC System Replacement	\$ 726,168	\$ -	\$ -	\$ -	\$ -
Quailrun HVAC System Replacement	\$ 726,168	\$ -	\$ -	\$ -	\$ -
Rampton Cafeteria Replace RTU HVAC Units	\$ 285,245	\$ -	\$ 285,245	\$ 285,245	\$ 285,245
USDC Comp Thearpy, Med svcs, Evergreen Re-Roof	\$ 581,633	\$ 581,633	\$ -	\$ -	\$ -
Clearfield Security Window	\$ 30,000	\$ 36,500	\$ -	\$ -	\$ 36,500
Canyonland's Control Board Replacement Project	\$ 150,000	\$ 170,000	\$ 170,000	\$ 170,000	\$ 170,000
Castle Country Control Board Replacement	\$ 150,000	\$ 150,000	\$ 150,000	\$ 150,000	\$ 150,000
Central Utah Control Board Replacement	\$ 150,000	\$ 150,000	\$ 150,000	\$ 150,000	\$ 150,000
(DFCM) CLEARFIELD HUMAN SERVICES 07097 Replace 4 HVAC RTU'S	\$ 23,100	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000
Rampton Electronic Door Control Head End Replacement	\$ 250,000	\$ -	\$ 250,000	\$ 250,000	\$ 250,000
Layton Group Home Re-Roof	\$ 45,725	\$ -	\$ 45,725	\$ 45,725	\$ 45,725
USH Chapel Re-Roof	\$ 177,650	\$ 177,650	\$ 177,650	\$ 177,650	\$ 177,650
Cedar City Regional Building Re-Roof	\$ 46,610	\$ -	\$ 46,610	\$ 46,610	\$ 46,610
(DFCM) CLEARFIELD HUMAN SERVICES 07097 Magnetic Door Holds	\$ 104,000	\$ -	\$ -	\$ -	\$ -
Utah State Developmental Center Key Card Access	\$ 350,000	\$ -	\$ -	\$ -	\$ 350,000
Wasatch Emergency Generator	\$ 70,000	\$ -	\$ -	\$ -	\$ -
(DFCM) VERNAL HUMAN SERVICES 01915 Replace carpet	\$ 60,000	\$ -	\$ -	\$ -	\$ 60,000
State Hospital Surge Tanke Replacement	\$ 200,000	\$ -	\$ -	\$ -	\$ 200,000
	\$ 6,189,832	\$ 1,295,783	\$ 3,442,811	\$ 4,089,311	\$ 4,089,311

National Guard				
West Jordan Armory HVAC Upgrades	\$ 500,000	\$ 500,000	\$ 500,000	\$ 500,000
West Jordan Armory Electrical Upgrade	\$ 500,000	\$ -	\$ 500,000	\$ 500,000
West Jordan Armory Remodel	\$ 389,000	\$ -	\$ 300,000	\$ 389,000
West Jordan Armory Remodel Office Spaces	\$ 850,000	\$ -	\$ 850,000	\$ 850,000
Draper Armory Expand Parking Spaces North	\$ 250,000	\$ 307,500	\$ -	\$ 307,500
West Jordan Armory, Add Storage Space	\$ 650,000	\$ -	\$ -	\$ -
Draper Armory Bathroom Remodels	\$ 160,000			\$ 50,000
Orem Armory 09035 Replace Controls and VAV Controllers	\$ 120,000			
PRICE ARMORY 0015 Move Backflow & PR- install water softener	\$ 10,000			
RICHFIELD, 00541, Replace Parking lot	\$ 80,000			
Springville Parking lot, Front part of parking lot needs to be replaced.	\$ 25,000			
Logan ARMORY 00033 Emergency Generator Installation	\$ 47,836			
Draper Armory Front Landscape	\$ 350,000			
SPANISH FORK, Expand POV parking	\$ 200,000			
TOOELE ARMORY 0562 Install Maintenance Catwalk Around Gym AHU for Maintenance and Safety	\$ 25,000			
UNG Camp Williams Photo Voltaic Project	\$ 350,000			\$ 350,000
	\$ 4,506,836	\$ 807,500	\$ 2,150,000	\$ 2,946,500
Natural Resources				
(DFCM) DNR NEW BUILDING 1625 B VFD Replacement	\$ 75,000	\$ 75,000	\$ 75,000	\$ 75,000
(DFCM) DNR NEW BUILDING 1625 B Dock Lift Replacement	\$ 22,000	\$ 30,000	\$ 30,000	\$ 30,000
(DFCM) DNR NEW BUILDING 1625 B Replace Main Conference Boardroom Wall Partitions	\$ 30,000	\$ -	\$ 30,000	\$ 30,000
	\$ 127,000	\$ 105,000	\$ 135,000	\$ 135,000
Parks & Recreation				
Bear Lake Marina Dock Replacement	\$ 500,000	\$ 500,000	\$ 500,000	\$ 500,000
Kodachrome: Campground Asphalt Repairs	\$ 275,000		\$ 340,000	\$ 340,000
Dead Horse Point: New Mtn. Bike Trail Parking Area	\$ 210,000	\$ 262,000	\$ 262,000	\$ 262,000
Territorial State House Restroom and Pavilion Improvements	\$ 350,000	\$ 350,000	\$ 350,000	\$ 350,000
Jordanelle: Asphalt Slurry Seal	\$ 160,000	\$ -	\$ 160,000	\$ 160,000
Red Fleet: Repair Asphalt install 2-inch asphalt overlay	\$ 235,000	\$ -	\$ 235,000	\$ 235,000
Bear Lake Cottonwood East: Restroom Replacement	\$ 250,000	\$ -	\$ 250,000	\$ 250,000
Fremont: Maintenance Shop Replacement	\$ 400,000	\$ -	\$ -	\$ 400,000
Escalante: Pave Group Use Parking Area	\$ 150,000	\$ -	\$ -	\$ 150,000
Bear Lake Cottonwood West: Restroom Replacement	\$ 250,000	\$ -	\$ -	\$ -
	\$ 2,780,000	\$ 1,112,000	\$ 2,097,000	\$ 2,647,000
Wildlife Resources				
DWR Northern Region Office Improvements	\$ 70,000	\$ 70,000	\$ 70,000	\$ 70,000
Lee Kay Shooting Range Improvements	\$ 155,000	\$ -	\$ 155,000	\$ 155,000
Egan Hatchery Improvements, Plumbing Fixtures, HVAC Distribution System, Domestic Water Distribution	\$ 45,000	\$ 45,000	\$ 45,000	\$ 45,000
DWR Law Enforcement Replace Existing Evidence Freezer	\$ 65,000	\$ -	\$ 65,000	\$ 65,000
Mantua Hatchery Improvements	\$ 30,000	\$ -	\$ 30,000	\$ 50,000
DWR Hatchery Statewide Window Replacement	\$ 60,000	\$ -	\$ -	\$ 100,000
Midway Hatchery Construct New Entrance Safety - Paving	\$ 70,000	\$ -	\$ -	\$ 70,000
Cunningham Ranch Solar Panel Repair	\$ 35,400	\$ -	\$ -	\$ -
Lee Kay Shooting Range Additional Pavement	\$ 85,000			
Cache Valley Shooting Range Additional Pavement	\$ 110,000			
Flaming Gorge Replace Existing Bunkhouse	\$ 330,000			
DWR Security System	\$ 20,000			
	\$ 1,075,400	\$ 115,000	\$ 365,000	\$ 555,000

Higher Education		\$ 16,523,974	\$ 42,336,665	\$ 52,411,948
		61%	63%	61%
State Agencies		\$ 10,518,600	\$ 25,226,189	\$ 33,179,252
		39%	37%	39%
Total Amounts Recommended for funding		\$ 27,042,574	\$ 67,562,854	\$ 85,591,200
Classification #1 Funded				
DSU_Tunnel Exiting and Fire Alarm System	\$ 183,000	\$ 183,000	\$ 183,000	\$ 183,000
UVU - Pope Science, Gunther Trades Buildings: Fire Door Repair And Replacement	\$ 80,000	\$ 80,000	\$ 80,000	\$ 80,000
Fair Park Three Condemed Barns	\$ 2,500,000	\$ 2,500,000	\$ 2,500,000	\$ 2,500,000
UDC Infrastructure Repairs	\$ 6,750,000	\$ -	\$ -	\$ -
U of U Infrastructure Funds	\$ 6,750,000	\$ 6,750,000	\$ 6,750,000	\$ 6,750,000
	\$ 16,263,000	\$ 9,513,000	\$ 9,513,000	\$ 9,513,000
Total Higher Ed, State Agencies and Critical Needs	\$ 16,263,000	\$ 36,555,574	\$ 77,075,854	\$ 95,104,200
		Available to fund after classification #1's and SW	Original Base Amounts	
Capital Improvement Funding at 1.1%		\$ 85,591,200	\$ 100,243,600	
Capital Improvement Funding at 0.9%		\$ 67,365,126	\$ 82,017,526	
Capital Improvement Funding Base		\$ 27,086,600	\$ 41,739,000	
Statewide Programs				
Capital Improvements/ DFCM PM	\$ 1,808,500			
FCA Program, Building Audits and Building Board	\$ 1,255,900			
Emergency Fund	\$ 500,000			
HazMat Emergency Abatement	\$ 450,000			
HazMat Materials Survey	\$ 275,000			
Land Option Fund	\$ 300,000			
Paving Preventative Maint.				
Paving UCI	\$ -			
Paving Unallocated Paving	\$ -			
Planning & Design Fund	\$ 100,000			
Roofing Emergency Funding	\$ -			
Roofing Preventative Maint.	\$ -			
Roofing Seismic Program	\$ -			
Roofing Unallocated Roofing				
StateFacility Energy Efficiency Fund	\$ 300,000			
Statewide Infrastructure Study	\$ 150,000			
Total Statewide funds	\$ 5,139,400			
Total Allocated		\$ 41,694,974	\$ 82,215,254	\$ 100,243,600
Unallocated Balance				\$ (0)



Gary R. Herbert
Governor

Utah State Building Board

4110 State Office Building
Salt Lake City, Utah 84114
Phone (801) 538-3018
Fax (801) 538-3267

MEMORANDUM

To: Utah State Building Board
From: Jeff Reddoor
Date: June 4, 2014
Subject: **Request for Approval of Design and Construction of a Replacement Office Building for UDOT Perry Port of Entry**
Presenter: Kevin Griffin, UDOT Director of Maintenance
Bill Juszczak, UDOT Facilities Maintenance Manager

Recommendation

In accordance with Utah Code 63A-5-104 I am recommending the Board approve the design and construction of a replacement office building at the Perry Port of Entry for the Department of Transportation.

Background

The Utah Department of Transportation Motor Carriers Division operates a port of entry on I-15 in Box Elder County. The existing office facility is 40 years and too small and outdated for the current operations. Motor Carriers is requesting permission from the Building Board to authorize a Capital Improvement project to replace the existing 900 square foot office building with a new 3000 square foot facility. This new facility will connect to the existing inspection building. This project will be fully funded with Transportation funds. All funding will come from Motor Carriers funds.

The new facility will replace an existing facility for which funding for maintenance and operations comes from Motor Carriers funding. It is not anticipated that the new facility will require significantly more in operations than the existing facility. The main utility usage will be propane and electricity which should increase slightly over the current usage. The additional costs will be absorbed into the existing Motor Carriers budget.

It is not anticipated that this project when completed will require any Capital Improvements for several years.. In such case, any Capital Improvements will be borne by Motor Carriers funding or UDOT's Capital Improvement funding.

The existing facility was planned and designed 40 years ago. The existing office is adjacent to the truck weigh line. The new facility will occupy the same location.

This replacement facility will benefit the State. With improved efficiencies the operations at the port will be more streamlined. They will be better equipped to serve the trucking industry. They will be better equipped to regulate the truck traffic. By increased traffic oversight they will be able to increase their revenue.

KG: JR: cn
Attachments

Capital Development Projects
CBE Details

Project Name:		PERRY PORT OF ENTRY BUILDING ADDITION				MAINTENANCE STATION		
Agency/Institution:		UDOT						
Project Manager:		Mueller						
Description	Explanation	Units	Unit Cost	Cost	Escalated Cost			
Facility Cost		GSF						
New Facility Cost Details:								
	Building addition - CMU walls, hip standing seam metal	3,210	\$ 212	\$ 680,520	\$ 698,251			
	square foot cost provided by UDOT on April 8, 2014							
				\$ -	\$ -			
Subtotal - New Facility Costs		3,210		\$ 680,520	\$ 698,251			
Remodel Facility Cost Details:								
				\$ -	\$ -			
				\$ -	\$ -			
				\$ -	\$ -			
				\$ -	\$ -			
				\$ -	\$ -			
				\$ -	\$ -			
Subtotal - Remodel Facility Costs		-		\$ -	\$ -			
TOTAL FACILITY COST		3,210		\$ 680,520	\$ 698,251			
Utility Cost Details:								
	Water Utility Fee			\$ -	\$ -			
	Sewer Utility Fee			\$ -	\$ -			
	Electricity Utility Fee			\$ -	\$ -			
	Storm Sewer Utility Fee			\$ -	\$ -			
	Connection Fees	1	\$ 25,000	\$ 25,000	\$ 25,651			
				\$ -	\$ -			
TOTAL UTILITY FEE COST				\$ 25,000	\$ 25,651			
Additional Construction Cost Details:								
				\$ -	\$ -			
				\$ -	\$ -			
				\$ -	\$ -			
				\$ -	\$ -			
				\$ -	\$ -			
				\$ -	\$ -			
TOTAL ADDITIONAL CONSTRUCTION COST				\$ -	\$ -			
Site Cost Details:								
	Included in the construction costs			\$ -	\$ -			
				\$ -	\$ -			
				\$ -	\$ -			
				\$ -	\$ -			
				\$ -	\$ -			
				\$ -	\$ -			
				\$ -	\$ -			
				\$ -	\$ -			
				\$ -	\$ -			
				\$ -	\$ -			
TOTAL SITE COST				\$ -	\$ -			
HIGH PERFORMANCE BUILDING		If N/A, change YES to NO. To supercede 1-1/2% calculation enter amount in unit cost		no	\$ -	\$ -		
TOTAL CONSTRUCTION COST				\$ 705,520	\$ 723,902			
OTHER PROJECT INFORMATION:								
	Total Net Square Feet:	2,570						
	Base Cost Date:	1/17/2014						
	Estimated Bid Date:	11/30/2014						
	Estimated Completion Date:	4/30/2015						
	Last Modified Date:	9/9/2013						
	Inflation Escalation Factor Included:	3.00%						
	Location Factor Included:	0.00%						
Hazardous Materials Cost Details:								
	Pre-Construction Survey	1	\$ 5,000	\$ 5,000	\$ 5,150			
				\$ -	\$ -			
	Plan and Monitoring			\$ -	\$ -			
				\$ -	\$ -			
	Abatement/Removal			\$ -	\$ -			
				\$ -	\$ -			
TOTAL HAZARDOUS MATERIALS COST				\$ 5,000	\$ 5,150			
Pre-Design/Planning:								
	Planning Fund Reimbursement			\$ -	\$ -			
				\$ -	\$ -			
	Programming			\$ -	\$ -			

**Capital Development Projects
CBE Details**

Environmental Assessment				\$ -				
				\$ -				
				\$ -				
Geotechnical Investigation/Surveys		1	\$ 10,000	\$ 10,000				
				\$ -				
TOTAL PRE-DESIGN/PLANNING COST				\$ 10,000				
Design Costs:								
A/E Design Fees								
		1	\$ 60,000	\$ 60,000				
				\$ -				
				\$ -				
				\$ -				
Total A/E Design Fees				\$ 60,000				
Additional Printing Costs		10	\$ 1,000	\$ 10,000				
High Performance Design	If N/A, change YES to NO. To supercede 1/4% calculation enter amount in unit cost	NO		\$ -				
Value Management Costs				\$ -				
				\$ -				
TOTAL DESIGN COST				\$ 70,000				
Property Acquisition:								
				\$ -				
				\$ -				
				\$ -				
TOTAL PROPERTY ACQUISITION COST				\$ -				
Furnishings & Equipment Costs:								
Furnishings Detail:								
		1	\$ 100,000	\$ 100,000				
				\$ -				
				\$ -				
				\$ -				
				\$ -				
				\$ -				
Total Furnishings				\$ 100,000				
Equipment Detail:								
				\$ -				
				\$ -				
				\$ -				
				\$ -				
				\$ -				
Total Equipment				\$ -				
FF&E Design Costs		1	\$ 10,000	\$ 10,000				
TOTAL FURNISHINGS & EQUIPMENT COSTS				\$ 110,000				
Information Technology Costs:								
		1	\$ 20,000	\$ 20,000				
				\$ -				
				\$ -				
				\$ -				
TOTAL INFORMATION TECHNOLOGY COST				\$ 20,000				
UTAH ART	If N/A, change YES to NO. To supercede 1% calculation enter amount in unit cost	NO		\$ -				
Testing & Inspection Costs:								
Building Code Inspection		1	\$ 8,000	\$ 8,000				
				\$ -				
Material Testing		1	\$ 8,000	\$ 8,000				
				\$ -				
Special Inspections				\$ -				
				\$ -				
TOTAL TESTING & INSPECTION COSTS				\$ 16,000				
Moving/Occupance Costs:								
				\$ -				
				\$ -				
TOTAL MOVING/OCCUPANCY COSTS				\$ -				
DFCM Management:								
		1	\$ 9,000	\$ 9,000				
				\$ -				
				\$ -				
TOTAL DFCM MANAGEMENT				\$ 9,000				

**Capital Development Projects
CBE Details**

User Fees:									
				\$	-				
				\$	-				
				\$	-				
				\$	-				
TOTAL USER FEES					\$	-			
Commissioning:									
				\$	-				
				\$	-				
				\$	-				
				\$	-				
TOTAL COMMISSIONING COSTS					\$	-			
Other Costs:									
Energy Study				\$	-				
Integrated Modeling	Energy modeling for LEED and full building analysis			\$	-				
Energy Management Fee	\$10,000 for full service			\$	-				
				\$	-				
TOTAL OTHER COSTS					\$	-			
Previous Funding:									
(Only show state appropriated funding & include costs covered by that funding in appropriate category.)									
				\$	-				
				\$	-				
TOTAL PREVIOUS FUNDING					\$	-			
Other Funding Sources:									
(List and describe each source)									
	UDOT		1	1012262	\$	1,012,262			
					\$	-			
					\$	-			
					\$	-			
TOTAL OTHER FUNDING SOURCES					\$	1,012,262			



Gary R. Herbert
Governor

Utah State Building Board

4110 State Office Building
Salt Lake City, Utah 84114
Phone (801) 538-3018
Fax (801) 538-3267

MEMORANDUM

To: Utah State Building Board
From: Jeff Reddoor
Date: June 4, 2014
Subject: **Request for Approval of Design Phase for the Romney Stadium, West-side Renovations**
Presenter: Charles Darnell, USU Associate Vice President for Facilities
Ben Berrett, USU Facilities Planning, Design and Construction Director

Recommendation

I am recommending the Board hear Utah State University's request to begin the design phase of the Romney Stadium West-side Renovation.

Background

The current USU stadium is undersized, outdated and lacks the necessary amenities needed for an appropriate fan experience. The new renovation will provide upgrades to restrooms, club level lounge, lobby, concession area, press accommodations and new premium seating options. Cost is approximately \$23,000,000.00 for 51,000 square feet of new space with funding from revenue bonds and private gifts.

It is anticipated this project will receive legislative approval and bonding authority in the next legislative session, however this is not guaranteed. In order to expedite the process, USU is requesting design approval so that bonds can be issued and construction can commence as soon as legislative approval is granted.

JR: cn
Attachments



May 8, 2014

Jeff Reddoor, Building Board Manager
Division of Facilities Construction
and Management
State Office Building Room 4110
PO Box 141160
Salt Lake City, UT 84114-1284

Dear Jeff:

Utah State University desires to begin the design phase of the Romney Stadium West-side Renovation. Although this project has not yet received legislative approval, it is anticipated that project approval and bonding authority will be granted in the upcoming 2015 Legislative Session. However, it is understood that approval is not guaranteed. In order to expedite the project, design approval is being requested so that bonds can be issued and construction can begin as soon as possible after legislative approval has been given. This request has been approved by the Utah State University Board of Trustees and Utah State Board of Regents.

The current Stadium is antiquated in many respects and lacks the amenities necessary to provide an appropriate fan experience. Existing fans regularly report negative experiences with current conditions. The Stadium provides the 9th smallest seating capacity in the country out of 128 programs and lags significantly in benchmarking with other universities.

This project will replace the existing west-side press box with a multi-level facility that will contain new premium seating options, club level lounge, lobby and concessions area, restrooms, and new press accommodations. In addition, the west-side concourse restrooms will be replaced and significantly expanded. Concessions will also be improved to better meet customer demand and efficiencies.

The project will cost approximately \$23,000,000 and will provide nearly 51,000 square feet of new space. Funding for this project will be generated through revenue bonds and private gifts. Revenue bonds will be repaid by the increased revenues that will be generated from the new premium seating.

A market and financial feasibility study has been completed to estimate premium seating demand and the resulting revenue potential. A conceptual architectural feasibility study has also been completed to provide pre-programming, architectural concepts, and estimated costs.

We appreciate your support and ask that you present this item to the Building Board.

Sincerely,

David T. Cowley
Vice President for
Business and Finance

cc: Cee Cee Niederhauser
Charles Darnell
Ben Berrett



Gary R. Herbert
Governor

Utah State Building Board

4110 State Office Building
Salt Lake City, Utah 84114
Phone (801) 538-3018
Fax (801) 538-3267

MEMORANDUM

To: Utah State Building Board
From: Jeff Reddoor
Date: June 4, 2014
Subject: **Request for Approval for the Enos Wall Mansion**
Presenter: Mike Perez, Associate Vice-President of Facilities

Recommendation

I am recommending the Board approve the request from the University of Utah to accept the Enos Wall Mansion as a gift from the LDS Church and to remodel this historic property to its original state. The project, pursuant to subsection 63A-5-104(3)(d)(i) of Utah Code requires approval for remodeling projects that cost more than \$2.5 Million and are funded with non-state funds.

Background

The LDS Church would like to gift the Enos Wall Mansion property located at 411 East South Temple, previously operated as the LDS Business College, to the University of Utah. Upon receipt of this property, the University would like to restore the building to its original state. Total project budget is estimated at \$7 Million and will be funded by donated funds. Estimated O&M cost of \$300,000.00 annually will be paid through rent revenue from tenants and events. This project has recently received approval from the University Board of Trustees and the Utah State Board of Regents.

JR: cn
Attachments



Office of the Vice President for Administrative Services

May 23, 2014

Mr. Jeff Reddoor, Director
Capital Planning & Budget
Utah State Building Board
4110 State Office Building
Salt Lake City, UT 84114

Dear Mr. Reddoor:

RE: Enos Wall Mansion

The University of Utah has the wonderful opportunity of receiving the facility located at 411 East South Temple, originally owned by James Sharp in 1882 and subsequently sold to Enos A. Wall in 1904. Most recently the property was owned by the Church of Jesus Christ of Latter Day Saints and operated as the LDS Business College.

Upon receipt of the property by the University, the proposed project will remodel the existing space with a significant effort to restore the building to its original state.

The total project budget is estimated at \$7,000,000 and will be funded by donated funds. The University has already received \$4,000,000 in donations.

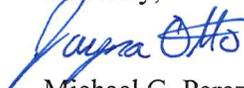
The estimated annual O&M cost of \$300,000 will be paid through rent revenue from tenants and events.

The University of Utah respectfully requests that it be allowed to accept this property as a gift from the Church of Jesus Christ of Latter Day Saints and commence with the project as described in the attachment. This request, approved by the University Board of Trustees and Utah State Board of Regents, is being submitted to the Utah State Building Board pursuant to subsection 63A-5-104(3)(d)(i) of the Utah Code that requires approval for remodeling projects that cost more than \$2.5 million and are funded with non-state funds.

The University of Utah respectfully seeks your support of this request and the opportunity to present this project to the Building Board at the June 4, 2014 meeting for approval.

Thank you for your consideration and support.

Sincerely,

 on behalf of Michael G. Perez

Michael G. Perez
Associate Vice President

Cc: Jason Perry, University of Utah
Joshua Haines, DFCM
Attachment: *Building Board Project Summary*

Associate Vice President Facilities Management
1795 E South Campus Dr. Room 222
Salt Lake City, UT 84112
(801) 581-6510
FAX (801) 581-6081

Utah State Building Board - Project Summary

Project Name: Wall Mansion
Project Owner: The University of Utah
Preliminary Cost Estimate: \$7,000,000
Total Project Space: 35,000 Sq. Ft.
Source of Funding: Donations

History:

The property located at 411 East South Temple was originally owned by James Sharp who was the sixth mayor of Salt Lake City, a member of the Board of Regents, and Chancellor for the University of Utah from 1882 to 1883. The property was sold to Colonel Enos A. Wall in 1904. Wall, who came to his wealth through the booming mining industry, hired Richard K. A. Kletting, the famed German architect who also designed the Utah State Capitol Building to enlarge and remodel the mansion. The extensive remodel was completed in 1912 for a total cost of \$300,000. The mansion featured an Otis electric elevator (still operational), a built-in vacuum system, steam heating system, fireplaces in all six bedrooms, a ballroom on the third floor, a game room, and several guest bedrooms. Ownership of the mansion and surrounding property changed hands several times until it was purchased by the LDS Church to house the LDS Business College in 1962. In the early 1970's two wings were built on the east and west sides of the mansion for additional classroom space.

The University of Utah respectfully requests that it be allowed to accept this property as a gift from the Church of Jesus Christ of Latter Day Saints.

Finances:

The total cost for the remodel is approximately \$7 million and will be funded entirely through donations. We have already received \$4 million. The building will be financially self-sufficient and there will not be a request for any state funded O&M. There will be approximately 35,000 sq. feet of useable space with an expected annual O&M cost of \$300,000.

The project will be presented to the Board of Trustees on May 27, 2014, the Board of Regents on June 2, 2014, and the State Building Board on June 4, 2014.

Need:

This building will host business and community leaders from around the globe for many of our most important and stately events. It will serve as a gathering place and effectively become our embassy to downtown providing facilities for international forums for business, government, community, and academic leaders. It is expected that we will also host events for the Utah World Trade Center, Salt Lake Chamber of Commerce, Governor's Office of Economic Development, Economic Development Corporation of Utah, and other civic organizations.

Additionally, this building will also host The Policy Institute at the University of Utah. Great cities and states are home to prestigious centers of thought leadership that support informed public decision-making. Like the Hoover Institute in California or the Aspen Institute in Colorado, The Policy Institute at the University of Utah will become a trusted public policy resource that will serve elected officials, community leaders and the public. Located nearly equidistant from the U's main campus, Capitol Hill, downtown and city hall, the mansion will act as host to this

important university asset and provide an extraordinary venue to bring the outstanding capabilities of the U into the hands of community decision makers. In doing so, the new institute will enhance the reputation, relationships and relevance of the U with the community it serves.

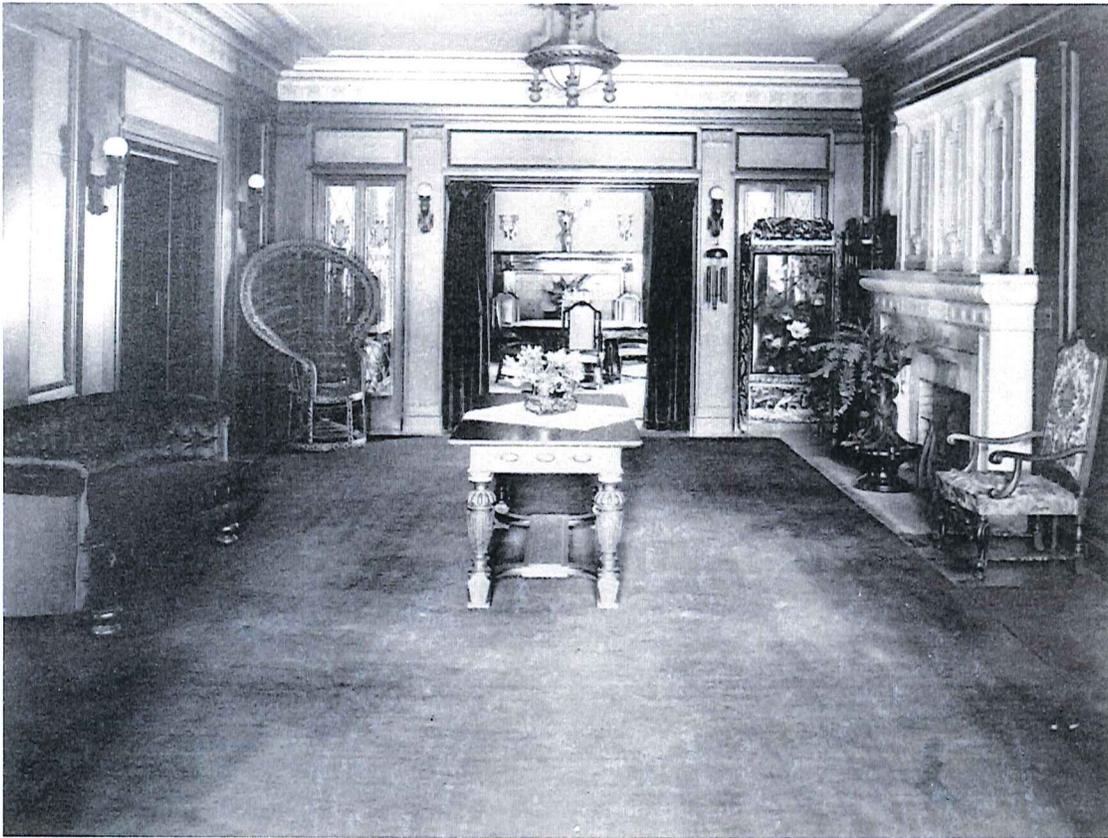
Timeline:

Start of Construction: Summer 2014

Completion of Construction: Fall 2015



Enos A. Wall Mansion Today



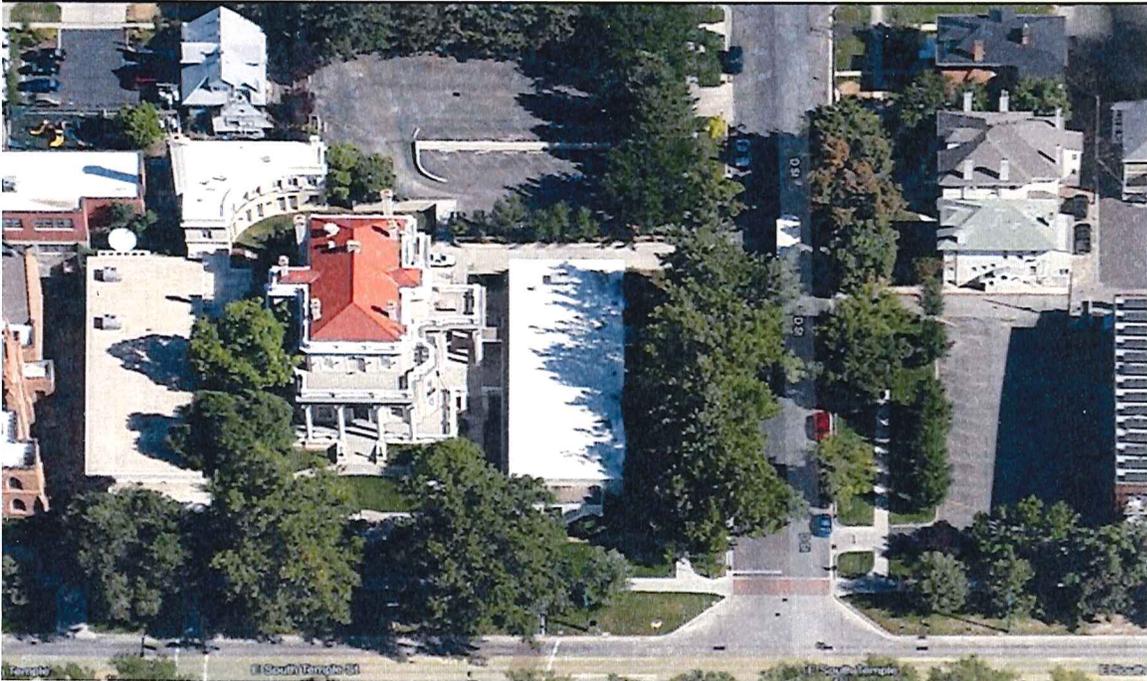
Original East Entry



East Entry Today



The Carriage House



Grounds and Parking



Gary R. Herbert
Governor

Utah State Building Board

4110 State Office Building
Salt Lake City, Utah 84114
Phone (801) 538-3018
Fax (801) 538-3267

MEMORANDUM

To: Utah State Building Board
From: Jeff Reddoor
Date: June 4, 2014
Subject: **Informational Update for the Utah Developmental Center Infrastructure**
Presenter: Josh Haines, DFCM Director

Recommendation:

Proceed with a multi-year phased project which will address the emergency needs of the Developmental while also creating a long term solution for the core infrastructure requirements.

Background:

In late 2013 DHS presented a development project for replacement of their entire infrastructure located on the Developmental Center grounds. The initial estimate was approximately 11-24 million dollars depending on the path taken. DFCM was tasked by the Building Board to work with the WHW engineering team and DHS to solidify a plan on moving forward. We worked extensively with DHS and WHW to identify life safety priority (critical) needs verses needs which should be funded as improvement projects over the next three to five years. Several of the more immediate life safety electrical issues were combined with ongoing projects. We also worked with DHS to identify which buildings were to be torn down and created a Future Development Master Plan area in which the existing infrastructure improvements could be removed from the project scope of work yet long term growth could be serviced. This created substantial project savings. Lastly we worked with WHW to value engineer the project. A tunnel system had been suggested but due to costs and lessons learned from other campuses a new direct buried Gilsulate insulate system was chosen for the new loop. The existing tunnel structure, while not perfect, could be repaired and improved to extend its life by 15-20 years. To improve safety multiple exit points will be added. More importantly the Development Center's missions is in a state of transition, the approach chosen takes this into account by providing flexibility, solving the immediate needs, creating a future development zone, adds the ability to isolate, while prudently preserving state funds.

Phase 1 2014: In order to meet the limited construction budget of \$2,500,000 the goal for 2014 is to complete the loop, add isolation valves to allow for redundancy and partial shutdown of the system, and remove and replace sections of piping to specifically deal with the identified severe leaks which could potentially result in program shut downs. The following are the areas to be replaced. Refer to the areas marked in red: DB-4, Tunnel D, and Tunnel F

Cost: \$2,500,000.00 (\$1.5 Million in funding to come from DHS)

Phase 2 2015: Phase II addresses Tunnel systems A, B, C, and E with the removal and replacement of piping along with the removal and replacement of a majority of the tunnel ceilings. Refer to the areas marked in Blue: Tunnels A, B, C, and E will be addressed along with TR-3

Cost: \$3,600,000.00

Future Development: The building's interior to the campus loop, shown in green on the attached map, are planned to be removed and replaced in some capacity in the future. Tees will be provided in the Phase I new loop which will allow for tie in to service growth.

Items Not Addressed: There are life safety projects, such as the Evergreen Building electrical issues, not specifically addressed in Phase I or II. These projects will be combined with ongoing DFCM projects to be completed this year. The remainder of the WHW identified projects in the fall into the 3-5 year range. An example of this is the replacement of the water mains serving the campus. From a life cycle analysis these galvanized pipes are nearing the end of their expected life cycles, however to date there is no evidence that they will fail. As a result, DFCM recommends items such as these be pushed to ongoing improvement projects over the next 3-5 years. Initially pricing came in around 3.5 million in construction costs. The current numbers reflect soft costs, a substantial increase in the size of the new loop, and moving several Priority 2 items into the project scope to maintain cost efficiency.

Agency/Institution: DHS

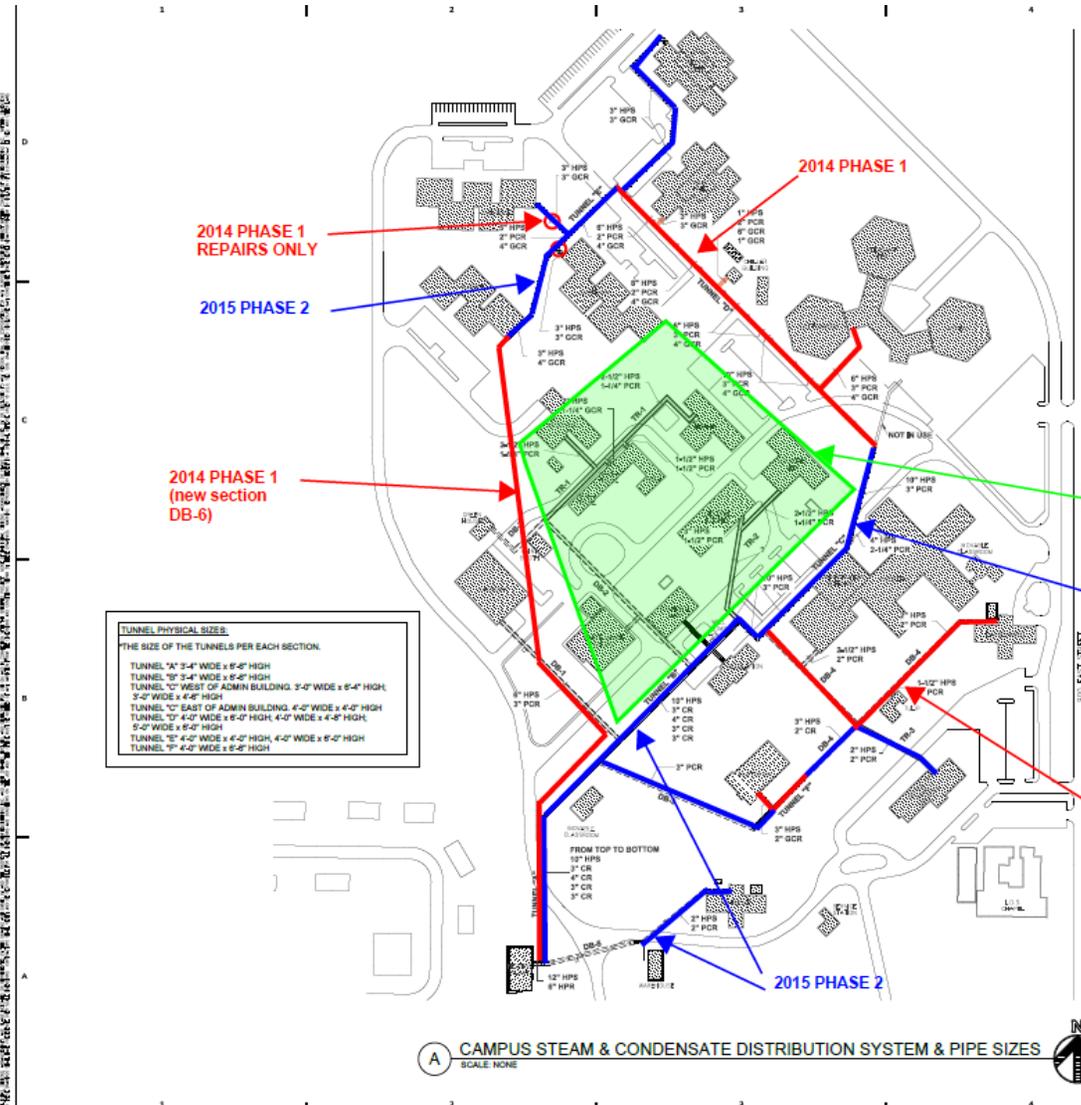
**Project Name: Developmental Center
Infrastructure Upgrade**

Agency/Institution Priority: Immediate

**Preliminary Cost Estimate: Phased
Project extending over a 2-3 year period.**

Other Sources of Funding:

DHS as contributed 1.5 million to the initial Phase I of this project.



TUNNEL PHYSICAL SIZES
 THE SIZE OF THE TUNNELS PER EACH SECTION.

TUNNEL "A" 3'-4" WIDE x 6'-8" HIGH
TUNNEL "B" 3'-4" WIDE x 6'-8" HIGH
TUNNEL "C" WEST OF ADMIN BUILDING 3'-0" WIDE x 6'-4" HIGH
3'-0" WIDE x 4'-8" HIGH
TUNNEL "D" EAST OF ADMIN BUILDING 4'-0" WIDE x 4'-0" HIGH
TUNNEL "E" WEST OF ADMIN BUILDING 4'-0" WIDE x 4'-0" HIGH
TUNNEL "F" 4'-0" WIDE x 6'-0" HIGH, 4'-0" WIDE x 4'-8" HIGH
5'-0" WIDE x 6'-0" HIGH
TUNNEL "G" 4'-0" WIDE x 4'-0" HIGH, 4'-0" WIDE x 6'-0" HIGH
TUNNEL "H" 4'-0" WIDE x 6'-8" HIGH

- 2014 PHASE 1
STEAM AND CONDENSATE,
AND EMERGENCY
STRUCTURAL REPAIRS
 - 2015 PHASE 2
STEAM AND CONDENSATE
AND EMERGENCY
STRUCTURAL REPAIRS
 - FUTURE DEVELOPMENT TO
REPLACE BUILDINGS AND
ASSOCIATED
INFRASTRUCTURE
- FUTURE IMPROVEMENT PROJECTS MAY
INCLUDE REPAIRS AND UPGRADES FOR
ELECTRICAL SYSTEMS, DOMESTIC
WATER SYSTEMS, AND CHILLED WATER
PIPING.

LEGEND

- HPS - HIGH PRESSURE STEAM
- PCR - PUMPED CONDENSATE RETURN
- GCR - GRAVITY CONDENSATE RETURN
- CR - CONDENSATE RETURN

A CAMPUS STEAM & CONDENSATE DISTRIBUTION SYSTEM & PIPE SIZES
 SCALE: NONE



WHW
ENGINEERING INC.
 PROFESSIONAL MECHANICAL ENGINEERING
 8610 Sandy Parkway, Suite 101
 SANDY, UTAH 84070
 (313) 688-4521, FAX 488-8558
 EMail: msd@whw-engineering.com

CONSULTANTS

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 written permission of WHW Engineering, Inc.

PROJECT NAME & ADDRESS

UTAH STATE
 DEVELOPMENTAL CENTER
 UTILITY TUNNEL STUDY

American Fork, Utah

MARK	DATE	REVISION

PROJECT CHARGES:
 SLW
 DRAWN BY: LGD
 PROJECT NO: WP
 DATE: 01/22/13
 SHEET NO: 12075

**STEAM AND CONDENSATE
 DISTRIBUTION SYSTEM AND
 PIPE SIZES**

SHEET NO. MS101



Gary R. Herbert
Governor

Utah State Building Board

4110 State Office Building
Salt Lake City, Utah 84114
Phone (801) 538-3018
Fax (801) 538-3267

MEMORANDUM

To: Utah State Building Board
From: Jeff Reddoor
Date: June 4, 2014
Subject: **Administrative Reports for University of Utah and Utah State University**
Presenter: Ken Nye, University of Utah
Presenter: Ben Berrett, Utah State University

Attached for your review are the Administrative Reports for University of Utah and Utah State University.

JR: cn
Attachments



Office of the Vice President
For Administrative Services

April 21, 2014

Mr. Jeff Reddoor, Building Board Director
Division of Facilities Construction and Management
State Office Building Room 4110
Salt Lake City, UT 84114

Subject: U of U Administrative Reports for the May 7, 2014 Building Board Meeting.

Dear Jeff:

The following is a summary of the administrative reports for the U of U for the period March 15, 2014 – April 17, 2014. Please include this in the packet for the May 7, 2014 Building Board meeting.

Professional Services Agreements (Page 1)

The Professional Services Agreements awarded during this period consist of:
9 Design Agreements, 6 Planning/ Study/Other Agreements.

No significant items.

Construction Contracts (Page 2)

The Construction Contracts awarded during this period consist of:
0 New Space Contracts, 8 Remodeling Contracts, 2 Site Improvement Contracts.

No significant items.

Report of Project Reserve Fund Activity (Page 3)

Increases:

None

Decreases:

None

Report of Contingency Reserve Fund (Page 4)

Increases:

None

Associate Vice President Facilities Management

1795 East South Campus Dr, Room 219
V. Randall Turpin University Services Building
Salt Lake City, UT 84112-9404
(801) 581-6510
FAX (801) 581-6081

Mr. Jeff Reddoor, Building Board Director
April 21, 2014
Page 2

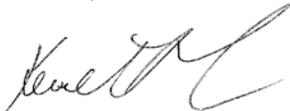
Decreases:

Project 21222; Social & Behavioral Science Building – Replace Three Elevators

This transfer of \$24,585 covers the cost of a number of unforeseen items. The largest of these was to resolve a code requirement that arose after bidding. The Building Official initially required that 39 fire doors be added to the scope of the project at a cost of over \$50,000. An alternative solution was arrived at which enhanced the exhaust in the elevator shaft at a cost of \$15,965. The balance was for several other unforeseen conditions.

Representatives from the University of Utah will attend the Building Board meeting to address any questions the Board may have.

Sincerely,

A handwritten signature in black ink, appearing to read "Kenneth E. Nye". The signature is fluid and cursive, with a large initial "K" and "E".

Kenneth E. Nye, Director
Facilities Management Business Services

Enclosures

cc: University of Utah Trustees
Mike Perez
Joshua Haines



Professional Services Agreements
Awarded From March 15, 2014 - April 17, 2014

Item Number	Project Number	Project Name	Firm Name	Project Budget	Contract Amount
Design					
1	21480	RBG - Rose Cottage Service Parking Lot	Redcon	\$ 3,285	\$ 3,285
2	21587	HEB Chemistry Bldg Auditorium & Classroom Upgrade	Pasker Gould Ames and Weaver	\$ 80,000	\$ 70,709
3	21597	HPEB ADA Accessibility	MHTN Architects	\$ 36,650	\$ 23,685
4	21603	Guardsman Parking Lot Renovation	Cliff Berkey Engineering	\$ 900,000	\$ 76,400
5	21604	Parking Lot Upgrades	Nolte	\$ 225,000	\$ 19,355
6	21607	Stadium Electrical Upgrade	Envision Engineering	\$ 24,750	\$ 24,750
7	21608	MBH Renovation L3 in Selected areas	AJC Architects	\$ 11,890	\$ 10,320
8	21613	Stadium Catering Kitchen Build Out	FFKR Architects	\$ 34,904	\$ 34,904
9	21612	Skaggs DDC Controls Upgrade	Musgrove Engineering	\$ 23,700	\$ 23,700
Planning/Study/ Other					
10	20232	Kennecott Phase 2 Commissioning	UTAH New Vision Construction	\$ 12,246,393	\$ 42,315
11	21465	Basketball Training Center - Hper Abatement	Wilson Consulting Services	\$ 23,488,035	\$ 4,880
12	21533	Huntesman Arena Phase 1	Wilson Consulting Services	\$ 5,601,086	\$ 7,076
13	21560	Campus Parking and Transportation master plan	Horrocks Engineers	\$ 262,500	\$ 242,429
14	21590	Childrens Center Site Facility Study	MHTN Architects	\$ 36,235	\$ 36,235
15	21606	Health Sciences Vehicular Signage - Ario and No Campus Dr	Corbin Design	\$ 33,600	\$ 33,600



Construction Contracts

Awarded From March 15, 2014 - April 17, 2014

Item Number	Project Number	Project Name	Firm Name	Design Firm	Project Budget	Contract Amount
Construction - New Space						
Construction - Remodeling						
1	21387	PX Military Science Remodel	Legacy Landscape Construction		\$ 2,833,521	\$ 14,974
2	21416	South and West Parking Terrace repairs	Gerber Construction		\$ 300,000	\$ 222,531
3	21435	Eyring Chemistry Northeast Tower Fume Hood Replacement Phase 2	Commercial Mechanical systems		\$ 2,265,175	\$ 1,728,806
4	21462	Union Mechanical Phase 5	Eagle Environmental		\$ 1,080,000	\$ 23,312
5	21490	Student Union Verizon store	Archer Construction		\$ 40,974	\$ 20,691
6	21516	Library HVAC Control Upgrade	Harris Acquisition III/Wasatch Control		\$ 750,000	\$ 593,761
7	70007	Pharmacy Security Camera Systems	Professional Systems Tech		\$ 197,276	\$ 156,502
8	21256	Nanofab Tool Install Phases 6 & 7	Alternative Mechanical Contractors		\$ 1,394,777	\$ 353,982
Construction - Site Improvement						
9	21132	RBG Accessible pathway below Orangerie	Allstate Construction		\$ 138,550	\$ 100,000
10	21518	Sidewalk and Bike Path Improvements	ACME Construction		\$ 460,872	\$ 344,040



University Of Utah
Report Of Project Reserve Fund Activity
For the Period of March 15, 2014 April 17, 2014

PROJECT NUMBER	PROJECT TITLE	TRANSFER AMOUNT	DESCRIPTION FOR CONTINGENCY TRANSFER	% OF CONSTR. BUDGET
	BEGINNING BALANCE INCREASES TO PROJECT RESERVE FUND: None DECREASES TO PROJECT RESERVE FUND: 21516 Replace HVAC Controls CURRENT BALANCE OF PROJECT RESERVE:	644,340.38 (13,761.00) 630,579.38	 Cover budget shortfall for construction contract award.	



University Of Utah
Report Of Contingency Reserve Fund Activity
For the Period of March 15, 2014 to April 17, 2014

PROJ. NO.	DESCRIPTION	CURRENT TRANSFERS	TOTAL TRANSFERS FROM CONTINGENCY	% OF CONSTR. BUDGET	PROJECT STATUS
	BEGINNING BALANCE	2,015,773.00			
	INCREASES TO CONTINGENCY RESERVE FUND				
	None				
	DECREASES TO CONTINGENCY RESERVE FUND				
	NEW CONSTRUCTION				
	None				
21222	REMODELING Social & Behavioral Sciences Building - Replace 3 Elevators	(24,585.00)	24,585.00	2.86%	Construction
	ENDING BALANCE	1,991,188.00			



Office of the Vice President
For Administrative Services

May 14, 2014

Mr. Jeff Reddoor, Building Board Director
Division of Facilities Construction and Management
State Office Building Room 4110
Salt Lake City, UT 84114

Subject: U of U Administrative Reports for the June 4, 2014 Building Board Meeting.

Dear Jeff:

The following is a summary of the administrative reports for the U of U for the period April 18, 2014 – May 14, 2014. Please include this in the packet for the June 4, 2014 Building Board meeting.

Professional Services Agreements (Page 1)

The Professional Services Agreements awarded during this period consist of:
5 Design Agreements, 1 Planning/ Study/Other Agreements.

No significant items.

Construction Contracts (Page 2)

The Construction Contracts awarded during this period consist of:
0 New Space Contracts, 2 Remodeling Contracts, 2 Site Improvement Contracts.

No significant items.

Report of Project Reserve Fund Activity (Page 3)

Increases:

None

Decreases:

None

Report of Contingency Reserve Fund (Page 4)

Increases:

None

Associate Vice President Facilities Management

1795 East South Campus Dr, Room 219
V. Randall Turpin University Services Building
Salt Lake City, UT 84112-9404
(801) 581-6510
FAX (801) 581-6081

Mr. Jeff Reddoor, Building Board Director
May 14, 2014
Page 2

Decreases:

Project 21518; Sidewalk & Bike Path Improvements

This transfer of \$6,192 covers the cost of two unknown conditions: (1) lowering an old storm sewer that was at a high elevation than expected and (2) replacing historic (over 100 years old) columns that crumbled when the concrete next to them was excavated.

Representatives from the University of Utah will attend the Building Board meeting to address any questions the Board may have.

Sincerely,

A handwritten signature in black ink, appearing to read "Kenneth E. Nye". The signature is fluid and cursive, with the first name being the most prominent.

Kenneth E. Nye, Director
Facilities Management Business Services

Enclosures

cc: University of Utah Trustees
Mike Perez
Joshua Haines



Professional Services Agreements

Awarded From April 18, 2014 - May 14, 2014

Item Number	Project Number	Project Name	Firm Name	Project Budget	Contract Amount
Design					
1	21552	Fire Protection Upgrade for Art & Architecture	Ken Garner Engineering	\$ 2,069,600	\$ 99,350
2	21605	Building 887 Remodel Space for Health Sciences	IBI Group	\$ 317,030	\$ 9,750
3	21616	Data Center Re Roof	JSR Services	\$ 33,180	\$ 31,350
4	21624	Williams Building HSIR Remodel	AJC Architects	\$ 20,000	\$ 9,650
5	21628	Social Work Bldg - ADA Access	AJC Architects	\$ 9,070	\$ 9,070
Planning/Study/ Other					
6	21618	Research Park Master Planning Studies	FFKR Architects	\$ 22,000	\$ 22,000



Construction Contracts

Awarded From April 18, 2014 - May 14, 2014

Item Number	Project Number	Project Name	Firm Name	Design Firm	Project Budget	Contract Amount
Construction - New Space						
Construction - Remodeling						
1	21495	Park Winder Board Room and Lobby Remodel	OMA Construction Company		\$ 297,080	\$ 155,288
2	21533	Huntsman Arena Cloud - Hazmat Cleaning	Utah Correctional Industries		\$ 5,601,086	\$ 60,000
Construction - Site Improvement						
3	21341	Shoreline Ridge Student Housing Pavilion	Terra Engineering and Construction		\$ 410,130	\$ 224,975
4	21372	Eccles House ADA Ramp	Stallings Construction		\$ 43,139	\$ 30,207



University Of Utah
Report Of Contingency Reserve Fund Activity
For the Period of April 18, 2014 to May 14, 2014

PROJ. NO.	DESCRIPTION	CURRENT TRANSFERS	TOTAL TRANSFERS FROM CONTINGENCY	% OF CONSTR. BUDGET	PROJECT STATUS
	BEGINNING BALANCE	1,991,188.00			
	INCREASES TO CONTINGENCY RESERVE FUND				
	None				
	DECREASES TO CONTINGENCY RESERVE FUND				
	NEW CONSTRUCTION				
	None				
21518	REMODELING				
	Sidewalk & Bikepath Improvements	(6,192.41)	6,192.41	1.46%	Construction
	ENDING BALANCE	1,984,995.59			

21 April 2014

Jeff Reddoor, Building Board Manager
Division of Facilities Construction
and Management
State Office Building Room 4110
PO Box 141160
Salt Lake City, UT 84114-1284

Dear Jeff:

SUBJECT: USU Administrative Reports for the May 2014 Building Board Meeting

The following is a summary of the administrative reports for USU for the period 03/17/14 to 04/21/14.

Professional Contracts, 3 contracts issued (Page 1)

Comments are provided on the report.

Construction Contracts, 15 contracts issued (Page 2)

Comments are provided on the report.

Report of Contingency Reserve Fund (Page 3)

Three projects needed funds from the contingency reserve during this reporting period. The contingency fund is in good order.

Report of Project Reserve Fund Activity (Page 4)

One project needed funds during this reporting period. The project reserve fund is in good order.

Current Delegated Projects List (Pages 5-6)

Of USU's 57 projects, 3 are pending, 12 are in the design/study phase, 35 are in construction, 5 are substantially complete and 2 are complete. The two projects that were completed during this period were Planning and Design Fund FY12 and Access Control FY13

Representatives from Utah State University will attend the Building Board meeting to address any questions the Board may have.

Sincerely,



David T. Cowley
Vice President for
Business and Finance

DTC/bg
c: Gregory L. Stauffer
Joshua Haines

Professional Contracts Awarded From 03/17/14 to 04/21/14

Contract Name	Firm Name	A/E Budget	Fee Amount	Comments
1 Business Building Remodel 2014	Axis Architects	\$39,500.00	\$39,500.00	Interior design services
MISCELLANEOUS CONTRACTS				
2 Equine Education Center Classroom	Kimball Engineering	\$6,825.00	\$6,325.00	Inspection services
3 Equine Education Center Classroom	Cache Landmark Engineering	\$6,825.00	\$500.00	Survey services

Construction Contracts Awarded From 03/17/14 to 04/21/14

Project	Firm Name	Design Firm	Const Budget	Contract Amt	Comments
1 Parking Lot Paving FY14	Raymond Construction	Cache Landmark Engineering	\$783,900.00	\$783,900.00	Re-paving of EEJ parking lot
2 Wasatch Hall Remodel	Spindler Construction	Forsgren Associates	\$685,736.00	\$685,736.00	Remodel of campus housing
3 USUE CEIC Building Remodel	Morris Electric	Ken Garner Engineering	\$744,119.00	\$27,760.06	Repair columns and blower
4 Building Commissioning FY12	USU Facilities Operations	USU Facilities Planning and Design	\$179,173.00	\$4,300.00	RBW Phase I recommissioning
5 Health, LS, Code, Asbestos FY14	USU Facilities Operations	USU Facilities Planning and Design	\$139,872.00	\$1,233.00	Install eyewash/shower station at NFS 225A
MISCELLANEOUS CONTRACTS					
6 Classroom Aud Upgrade FY14	American Seating		\$267,808.00	\$45,877.00	Auditorium seating for FAV 150
7 SER 005 Microscopy Lab Remodel	Eagle Environmental		\$275,803.00	\$4,692.00	Asbestos abatement SER 005/023
8 TSC Chiller Replacement	Eagle Environmental		\$10,000.00	\$3,373.00	TSC asbestos abatement
9 Health, LS, Code, Asbestos FY14	Eagle Environmental		\$139,872.00	\$2,460.00	VSF 126/128 asbestos abatement
10 Health, LS, Code, Asbestos FY14	Environmental Abatement		\$139,872.00	\$1,265.00	NFS floor tile abatement
11 Health, LS, Code, Asbestos FY14	Rocmont Industrial Corp		\$139,872.00	\$1,024.00	Engineering 223 abatement
12 Health, LS, Code, Asbestos FY14	Eagle Environmental		\$139,872.00	\$852.00	BNR 022 abatement
13 Health, LS, Code, Asbestos FY14	Eagle Environmental		\$139,872.00	\$610.00	NFS pipe insulation abatement
14 Health, LS, Code, Asbestos FY14	Dixon Information		\$139,872.00	\$51.00	Sample testing from MDLS building

Report of Contingency Reserve Fund From 03/17/14 to 04/21/14

Project Title	Current Transfers	Total Transfers To (From) Contingency	% to Construction Budget	Project Status	% Completed (Paid)
BEGINNING BALANCE	\$438,745.86				
INCREASES TO CONTINGENCY RESERVE FUND					
None					
DECREASES FROM CONTINGENCY RESERVE FUND					
Kent Concert Hall Entry Replacement Supply/install drainage piping	(20,655.00)	(68,062.00)	5.71%	Construction	42.37%
OM Masonry Restoration Phase 3 Accommodate wall configuration and provide equipment protection for circuit breakers	(7,386.27)	(33,124.27)	7.71%	Construction	100.00%
OM Masonry Restoration Phase 3 Replacement of 2nd capital steel, welding, labor	(3,967.00)	(33,124.27)	7.71%	Construction	95.43%
Access Control FY13 Access control installation overage-SER building	(1,347.37)	(1,347.37)	0.92%	Complete	100.00%
ENDING BALANCE	\$405,390.22				

**Report of Project Reserve Fund Activity
From 03/17/14 to 04/21/14**

Project Title	Transfer Amount	Description	% of Construction Budget
BEGINNING BALANCE INCREASES TO PROJECT RESERVE FUND None DECREASES TO PROJECT RESERVE FUND Parking Lot Paving FY14 (Raymond Construction)	\$374,161.43 (118,762.00)	 Funds needed to award construction contract	
ENDING BALANCE	\$255,399.43		

Current Delegated Projects List 4/21/2014

Project Number	Project Name	Phase	Project Budget
CAPITAL DEVELOPMENT/IMPROVEMENT			
A22907	Planning and Design Fund FY11	Design/Study	75,000
A24855	Planning and Design Fund FY12	Complete	149,801
A24857	Classroom/Auditorium Upgrades FY12	Construction	389,659
A24858	Building Commissioning FY12	Commissioning	190,991
A24862	NFS HVAC Design	Construction	195,532
A25891	USU VoIP Comm Closet Upgrade	Substantial Completion	2,435,198
A26677	Access Control FY13	Complete	148,406
A26681	Medium Voltage Upgrades FY13	Construction	243,243
A27144	Building Commissioning FY13	Commissioning	190,991
A27146	Campus Controls Upgrade FY13	Construction	245,098
A27147	Campus-wide Bike Racks FY13	Construction	54,074
A27148	Classroom Auditorium Upg FY13	Construction	294,570
A27149	Concrete Replacement FY13	Substantial Completion	276,160
A27150	Emergency Generator FY13	Construction	320,195
A27152	FAV Cooling	Substantial Completion	1,468,902
A27153	Health/LS/Code/Asbestos FY13	Construction	199,334
A27155	Miscellaneous Critical Improvements FY13	Construction	255,489
A27156	Old Main Masonry Restoration	Construction	376,991
A27157	Planning & Design Fund FY13	Design/Study	106,667
A27158	Sign System FY13	Construction	49,074
A27277	BEERC Classroom Addition/Office Remodel	Construction	1,451,577
A28266	Wellness Center Remodel	Construction	1,400,000
A28430	Bldg 620 Lab 231 remodel	Substantial Completion	129,516
A28514	South Farm Transgenic Goat Barn	Substantial Completion	193,585
A28857	Equine Education Center Classroom	Construction	849,933
A28909	Kent Concert Hall Entry Replacement	Construction	2,123,170
A28997	NFS Kitchen 243/208 Remodel	Construction	400,000

A28998	Access Control FY14	Construction	49,249
A28999	Building Commissioning FY14	Commissioning	196,296
A29000	Campus Controls Upgrade FY14	Construction	245,098
A29001	Classroom/Auditorium Upgrades FY14	Construction	294,644
A29002	Concrete Replacement FY14	Construction	242,832
A29003	Elevator Upgrades FY14	Construction	294,396
A29004	Emergency Generator FY14	Construction	245,495
A29005	Health, LS, Code, Asbestos FY14	Construction	148,205
A29006	Medium Voltage Upgrades FY14	Pending	343,637
A29007	Misc Critical Improvements FY14	Construction	249,979
A29008	Moab ADA Upgrades	Design	195,943
A29009	OM Masonry Restoration Phase 3	Construction	507,346
A29010	Parking Lot Paving FY14	Design	810,505
A29011	Planning and Design FY14	Design/Study	138,000
A29012	Sign System FY14	Pending	49,074
A29792	TSC Chiller Replacement	Construction	320,391
A30021	Wasatch Hall Remodel	Construction	1,093,161
A30033	Sant Lab 004 Remodel	Construction	118,501
A30086	SER005 Microscopy Lab Remodel	Design	327,410
A30458	Hillyard Photovoltaic Array (NEW PROJECT)	Design	239,200
A30560	Innovation Campus Water Line (NEW PROJECT)	Design	185,000
A30682	Tooele Admin Office Remodel	Design	231,002
A30780	NEH Art Museum Remodel	Pending	110,834
A30989	Eccles Business Building Interior Remodel (NEW PROJECT)	Design	509,000
C11294	USUE Central Instructional Building	Design	825,000
C11301	USUE Workforce Education Remodel	Construction	413,302
C11310	USUE Library Building Upgrade	Construction	773,849
C11314	USUE CEIC Building Remodel	Construction	886,606
C11368	USUE Mechanical/Lighting upgrade	Construction	853,565
C11375	USUE Library Concrete Replacement	Design	297,173
TOTAL (57)			<u><u>\$25,407,849</u></u>

19 May 2014

Jeff Reddoor, Building Board Manager
Division of Facilities Construction
and Management
State Office Building Room 4110
PO Box 141160
Salt Lake City, UT 84114-1284

Dear Jeff:

SUBJECT: USU Administrative Reports for the June 2014 Building Board Meeting

The following is a summary of the administrative reports for USU for the period 04/21/14 to 05/19/14.

Professional Contracts, 3 contracts issued (Page 1)

Comments are provided on the report.

Construction Contracts, 16 contracts issued (Pages 2-3)

Comments are provided on the report.

Report of Contingency Reserve Fund (Page 4)

Three projects needed funds from the contingency reserve during this reporting period. The contingency fund is in good order.

Report of Project Reserve Fund Activity (Page 5)

One project needed funds during this reporting period. The project reserve fund is in good order.

Current Delegated Projects List (Pages 6-7)

Of USU's 54 projects, 2 are pending, 8 are in the design/study phase, 37 are in construction, 3 are substantially complete and 4 are complete. The four projects that were completed during this period were BEERC Classroom Addition/Office Remodel, Bldg 620 Lab 231 remodel, South Farm Transgenic Goat Barn and USUE Workforce Education Remodel.

Representatives from Utah State University will attend the Building Board meeting to address any questions the Board may have.

Sincerely,



David T. Cowley
Vice President for
Business and Finance

DTC/bg
c: Gregory L. Stauffer
Joshua Haines

Professional Contracts Awarded From 04/21/14 to 05/19/14

Contract Name	Firm Name	A/E Budget	Fee Amount	Comments
1 NEH Museum of Art Entrance Remodel	Method Studio	\$8,747.00	\$8,325.00	Entry design
2 Planning and Design FY14	Method Studio	\$138,000.00	\$5,000.00	Trailer Court Master Plan
MISCELLANEOUS CONTRACTS				
3 Parking Lot Paving FY14	Skyline A/E/S	\$5,800.00	\$5,800.00	Material testing

Construction Contracts Awarded From 04/21/14 to 05/19/14

Project	Firm Name	Design Firm	Const Budget	Contract Amt	Comments
1 Building Commissioning FY14	USU Facilities Operations	USU Facilities Planning and Design	\$185,185.00	\$99,521.00	Ray B West Recommissioning
2 TSC Chiller Replacement	Advanced Heating and Air Conditioning	Van Boerum & Frank	\$278,866.00	\$69,540.00	Finishing remaining work on chiller replacement
3 Medium Voltage Upgrades FY13	NEI Electric Power Engineering	USU Facilities Planning and Design	\$225,225.00	\$19,750.00	Substation work
4 Tooele Admin Office Remodel	Gramoll Construction	Method Studio	\$146,089.00	\$17,000.00	Pre-construction/management fee
5 Sign System FY13	USU Facilities Operations	USU Facilities Planning and Design	\$42,110.00	\$11,338.00	New signage for nine buildings
6 Bike Racks FY13	USU Facilities Operations	USU Facilities Planning and Design	\$51,296.00	\$4,532.00	Six bike racks for Water Lab
7 Miscellaneous Critical Improvements FY14	USU Facilities Operations	USU Facilities Planning and Design	\$235,219.00	\$1,946.00	Install auto opener on main door
8 Bike Racks FY13	USU Facilities Operations	USU Facilities Planning and Design	\$51,296.00	\$1,943.00	Three bike racks for Public Safety Building
9 Bike Racks FY13	USU Facilities Operations	USU Facilities Planning and Design	\$51,296.00	\$1,796.00	Three bike racks for College of Business
10 Wellness Center Remodel	USU Facilities Operations	USU Facilities Planning and Design	\$1,005,506.00	\$1,600.00	Replace auto opener
11 Health, LS, Code, Asbestos FY14	USU Facilities Operations	USU Facilities Planning and Design	\$139,872.00	\$1,069.00	Connect 4 outlets and 2 lights in office area

MISCELLANEOUS CONTRACTS

12 Classroom/Auditorium Upgrade FY14	Henriksen/Butler	\$267,808.00	\$24,370.00 Tables/chairs for Library 411
13 Bike Racks FY13	Graber Manufacturing	\$51,296.00	\$7,225.00 Eleven bike racks
14 Health, LS, Code, Asbestos FY14	Castle Valley Landscaping	\$43,545.00	\$2,610.00 Tree trimming
15 Health, LS, Code, Asbestos FY14	Dixon Information	\$139,872.00	\$75.00 Old Main three samples
16 TSC Chiller Replacement	Dixon Information	\$10,000.00	\$10.00 One sample testing

Report of Contingency Reserve Fund From 04/21/14 to 05/19/14

Project Title	Current Transfers	Total Transfers To (From) Contingency	% to Construction Budget	Project Status	% Completed (Paid)
BEGINNING BALANCE	\$405,390.22				
INCREASES TO CONTINGENCY RESERVE FUND None					
DECREASES FROM CONTINGENCY RESERVE FUND					
Kent Concert Hall Entry Replacement (ICS-roof drains/changes, soffit repairs, relocate duct work)	(42,529.00)	(136,971.00)	11.48%	Construction	58.82%
Emergency Generator FY14 (communication room system wiring/ connect exterior lighting)	(1,243.36)	(1,243.36)	0.55%	Construction	0.00%
Classroom/Auditorium Upgrade FY14 (Additional shipping charges)	(7,151.29)	(7,151.29)	2.63%	Construction	0.00%
ENDING BALANCE	\$354,466.57				

**Report of Project Reserve Fund Activity
From 04/21/14 to 05/19/14**

Project Title	Transfer Amount	Description	% of Construction Budget
BEGINNING BALANCE INCREASES TO PROJECT RESERVE FUND None DECREASES TO PROJECT RESERVE FUND Parking Lot Paving FY14 (Skyline A/E/S)	\$255,399.43 (5,800.00)	Funds needed for material testing	
ENDING BALANCE	\$249,599.43		

Current Delegated Projects List 5/19/2014

Project Number	Project Name	Phase	Project Budget
CAPITAL DEVELOPMENT/IMPROVEMENT			
A22907	Planning and Design Fund FY11	Design/Study	75,000
A24857	Classroom/Auditorium Upgrades FY12	Construction	389,659
A24858	Building Commissioning FY12	Commissioning	190,991
A24862	NFS HVAC Design	Construction	195,532
A25891	USU VoIP Comm Closet Upgrade	Substantial Completion	2,455,198
A26681	Medium Voltage Upgrades FY13	Construction	243,243
A27144	Building Commissioning FY13	Commissioning	190,991
A27146	Campus Controls Upgrade FY13	Construction	245,098
A27147	Campus-wide Bike Racks FY13	Construction	54,074
A27148	Classroom Auditorium Upg FY13	Construction	301,721
A27149	Concrete Replacement FY13	Substantial Completion	276,160
A27150	Emergency Generator FY13	Construction	320,195
A27152	FAV Cooling	Substantial Completion	1,468,902
A27153	Health/LS/Code/Asbestos FY13	Construction	199,334
A27155	Miscellaneous Critical Improvements FY13	Construction	255,489
A27156	Old Main Masonry Restoration	Construction	376,991
A27157	Planning & Design Fund FY13	Design/Study	106,667
A27158	Sign System FY13	Construction	49,074
A27277	BEERC Classroom Addition/Office Remodel	Complete	1,399,103
A28266	Wellness Center Remodel	Construction	1,400,000
A28430	Bldg 620 Lab 231 remodel	Complete	148,824
A28514	South Farm Transgenic Goat Barn	Complete	193,585
A28857	Equine Education Center Classroom	Construction	849,933
A28909	Kent Concert Hall Entry Replacement	Construction	2,165,699
A28997	NFS Kitchen 243/208 Remodel	Construction	400,000
A28998	Access Control FY14	Construction	49,249
A28999	Building Commissioning FY14	Commissioning	196,296

A29000	Campus Controls Upgrade FY14	Construction	245,098
A29001	Classroom/Auditorium Upgrades FY14	Construction	294,644
A29002	Concrete Replacement FY14	Construction	242,832
A29003	Elevator Upgrades FY14	Construction	294,396
A29004	Emergency Generator FY14	Construction	246,738
A29005	Health, LS, Code, Asbestos FY14	Construction	148,205
A29006	Medium Voltage Upgrades FY14	Pending	343,637
A29007	Misc Critical Improvements FY14	Construction	249,979
A29008	Moab ADA Upgrades	Design	195,943
A29009	OM Masonry Restoration Phase 3	Construction	507,346
A29010	Parking Lot Paving FY14	Construction	816,305
A29011	Planning and Design FY14	Design/Study	138,000
A29012	Sign System FY14	Pending	49,074
A29792	TSC Chiller Replacement	Construction	320,391
A30021	Wasatch Hall Remodel	Construction	1,093,161
A30033	Sant Lab 004 Remodel	Construction	118,501
A30086	SER005 Microscopy Lab Remodel	Construction	327,410
A30458	Matthew Hillyard Photovoltaic Array	Construction	239,200
A30560	Innovation Campus Water Line	Design	185,000
A30682	Tooele Admin Office Remodel	Construction	231,002
A30780	NEH Art Museum Remodel	Design	110,834
A30989	Eccles Business Building Interior Remodel	Design	39,500
C11301	USUE Workforce Education Remodel	Complete	413,302
C11310	USUE Library Building Upgrade	Construction	773,849
C11314	USUE CEIC Building Remodel	Construction	886,011
C11368	USUE Mechanical/Lighting upgrade	Construction	853,565
C11375	USUE Library Concrete Replacement	Design	297,173
TOTAL (54)			<u><u>\$23,858,104</u></u>



Gary R. Herbert
Governor

Utah State Building Board

4110 State Office Building
Salt Lake City, Utah 84114
Phone (801) 538-3018
Fax (801) 538-3267

MEMORANDUM

To: Utah State Building Board
From: Jeff Reddoor
Date: June 4, 2014
Subject: **Administrative Reports for Utah Department of Transportation**
Presenter: Bill Juszczak, UDOT

Attached for your review are the Administrative Reports for the Utah Department of Transportation.

JR: cn
Attachments

15-May-14		FY2014 LAND AND BUILDINGS PROGRAM													
JOB	DESCRIPTION / LOCATION	ENGINEERS ESTIMATE	EXPECTED ADVERTISE DATE	ACTUAL ADVERTISE DATE	BID CONSTRUCTION COMPLETION DATE	PLAN APPROVAL DATE	ESTIMATED CONSTRUCTION COMPLETION DATE	ACTUAL CONSTRUCTION COMPLETION DATE	AWARD CONTRACT AMOUNT	CHANGE ORDERS	TOTAL FUNDS	EXPENSE	CURRENT CONTRACT AMOUNT	STATUS / COMMENTS	
REGION 1 CENTRAL			JOBS L417XX			ORG 8361									
L31703	Salt Storage Building Hot Springs	200,000			08/30/13	09/09/13		2/2014	195,999	11,774	207,773		207,773	CO Issued	
L41701	Salt Shed Remodel Station 1427 Centerville	45,000		07/25/13	04/01/14	01/08/14	04/01/14		104,247		104,247		104,247		
REGION 2 CENTRAL			JOBS L427XX			ORG 8361									
L42701	Kamas Phase II Station 2437 Kamas	1,400,000	02/14/14	02/20/14	09/15/14	N/A	09/15/14		1,185,000		1,185,000		1,185,000		
L42702	Equipment Building Station 2433 Cottonwood	500,000	Need Funding						500,000		500,000		500,000		
L42703	Equipment Building Station 2427 South Valley	225,000	01/01/14	01/27/14	09/01/14		09/23/14		445,915		445,915		445,915		
L42704	Equipment Building Station 2430	175,000		12/05/13	08/01/14		06/16/14		269,393		269,393		269,393		
L42705	Salt Storage Building Dugway	125,000		12/05/13	08/01/14		06/20/14		144,560		144,560		144,560		
REGION 3 CENTRAL			JOBS L437XX			ORG 8361									
L33701	Materials Field Lab Region 3 Headquarters	150,000							262,840		262,840		262,840	CO Issued	
L33702	Salt Storage Building Station 3436 Manila	125,000			10/15/13	10/15/13	03/01/14		129,500		129,500		129,500		
L33703	Salt Storage Building Station 3433A Pinion Ridge	125,000			10/15/13	09/09/13	04/01/14		125,000		125,000		125,000		
L43701	Materials Lab Addition Roosevelt	50,000							50,000		50,000		50,000	Region to manage	
L43702	Building for Tow Plow Station 3425 Provo/Orem	250,000	01/01/14	01/27/14	09/30/14				356,530		356,530		356,530		
L43703	Building for Tow Plow Station 3426 Spanish Fork	150,000	02/01/14		10/01/14		09/30/14		196,977		196,977		196,977		
REGION 4 CENTRAL			JOBS L447XX			ORG 8361									
L34751	New Storage Bldg. (40'x60') Price Warehouse	190,000			08/15/13	09/09/13	04/01/14		129,700	21,489	151,189		151,189	Includes Window Replacement	
L34752	New 4 Bay Vehicle Storage Bldg. (50' x 80') Station 4465 Sevier	240,000			09/15/13	09/09/13		02/06/14	224,244		224,244		224,244	Includes Sander Rack	
L34753	New 2 Bay Vehicle Storage Bldg. (50' x 40') Station 4477 (In Cedar)	125,000			09/30/13	08/27/13	03/01/14		123,000		123,000		123,000		
L34755	Salt Storage Building (50' x 60') Station 4466 Loa	110,000			10/15/13	09/09/13	03/01/14		110,999	8,682	119,681		119,681		
L34756	Salt Bldg./Loader Bay (50' x 40') For Station 4453 Moab @ SR-191 MP 106	110,000			08/15/13	05/28/13	02/01/14		110,000		110,000		110,000		
L34760	New 4 Bay Vehicle Storage Bldg. (50' x 80') Station 4479 Beaver	200,000			09/15/13	10/18/13	03/01/14		200,000		200,000		200,000		
L44751	Equipment Building Fairview Canyon	150,000	Need Land						150,000		150,000		150,000	Property Issues	
L44752	Salt Storage Building Station 4467 Hanksville	125,000		12/05/13	08/01/14		07/04/14		102,284		102,284		102,284		
L44753	Salt Storage Building MP 28 SR-89 for Kanab	150,000		12/05/13	08/01/14		06/26/14		147,260		147,260		147,260		
L44754	Windows/Furnace/AC/Overhead Doors Station 4483 Delta	33,000							33,000		33,000		33,000		
L44755	Two Bay Building Station 4488 Richfield	60,000	02/01/14	03/07/14	10/15/14		09/19/14		99,970		99,970		99,970		
L44756	12 Stall Sander Rack Station 4460 Colton	100,000		08/08/13	11/01/13				59,900		59,900		59,900		
L44757	Salt Storage Building Sinbad Exit I-70	150,000	BLM Approval	01/27/14	09/01/14		08/29/14		198,450		198,450		198,450		
L44758	New Storage Building Station 4470A Tropic	110,000	02/01/14	02/25/14	10/15/14		09/19/14		139,000		139,000		139,000		
L44759	New Maintenance Station Station 4463 Salina	2,277,000			12/01/14		12/01/14		2,259,671		2,259,671		2,259,671	DFCM Managed	
L44760	New Office Building Price	250,000					11/15/2014							DFCM Managed	
L44762															
POE/MOTOR CARRIERS CENTRAL			JOBS L467XX			ORG 8360									
L46700											0		0		



Gary R. Herbert
Governor

Utah State Building Board

4110 State Office Building
Salt Lake City, Utah 84114
Phone (801) 538-3018
Fax (801) 538-3267

MEMORANDUM

To: Utah State Building Board
From: Jeff Reddoor
Date: June 4, 2014
Subject: **Administrative Reports for DFCM**
Presenter: Josh Haines, DFCM Director

The following is a summary of the administrative reports for DFCM.

Lease Report (Pages 1 - 3)

No significant items

Professional Services Agreements, 33 Agreements Issued (Pages 4 - 7)

The Professional Services Agreements awarded during this period consist of:

19 Design Agreements, 14 Planning/Study/Other Agreements.

No significant items

Construction Contracts, 48 Contracts Issued (Pages 8 - 12)

The Construction Contracts awarded during this period consist of:

2 New Space Contracts, 27 Remodeling Contracts, 11 Paving/Roofing Contracts, 8 Other .

Item #21, Dixie State College New Boiler

Funds from the Project Reserve Fund were used to award this contract

Item #35, Univ of Utah Huntsman Cancer Research Institute Phase IV

Item #48, WSU Tracy Hall Science Center

These are CM/GC agreements, the balance of the construction costs will be added by future change orders.

Report of Contingency Reserve Fund (Pages 13 - 14)

Increases

Increases are from budgeted contingency transfers and decrease change orders/modifications,

Decreases, Capital Development

SLCC RRC New Instructional and Administrative Complex

This transfer of \$601,303 covers Okland change orders #20 and #21, and Rocmont change order #1. See attached pages #15 - 22 for details and contract summaries.

UVU New Classroom Building

This transfer of \$321,099 covers design, inspection and commissioning costs over budget, as well as change order #6. See attached pages #23 - 25 for details and contract summary.

Univ of Utah Electrical and High Temp Water Infrastructure

This transfer of \$255,035 covers change order #13. See attached pages #26 - 30 for details and contract summary

Report of Contingency Reserve Fund Continued

Decreases, Capital Development

Univ of Utah USTAR Neuroscience Research Center

This transfer of \$101,447 covers for State's share of change order #94. See attached pages #31 - 35 for details and contract summary.

Decreases, Capital Improvement

Draper Prison Wasatch Bldg Kitchen Floor Replacement

This transfer of \$57,305 covers change order #1. See attached pages #36 - 38 for details and contract summary

DWS Admin Bldg Parking Structure Drain Line Replacement

This transfer of \$40,779 covers change order #1. See attached pages #39 - 41 for details and contract summary.

Snow Canyon Culinary Water Line

This transfer of \$22,631 covers the State's share of change order #1. See attached pages #42 - 44 for details and contract summary.

Utah Space Standards Update

This transfer of \$21,305 covers an additional agreement to complete this work, which was originally covered from contingency reserve funds. See attached page #45 for details.

The decrease of \$3,000,000 is per 2014 Legislative action in Senate Bill #3, item #131 moving DFCM contingency reserve funds to the State's General Fund.

Report of Project Reserve Fund Activity (Pages 46 - 48)

Increases

The increases reflect savings on projects that were transferred to Project Reserve per statute.

Decreases

The decreases are to award construction contracts that were over budget. This reserve fund was decreased by \$5,100,000 in FY'15 by Legislative action in the 2014 Session. This isn't reflected in the balances at this time since it is a Fiscal Year 2015 transaction.

This report also includes a total by Agency/Institution for increases and decreases to this reserve fund, for FY'14 to date. We will keep this updated throughout the Fiscal year so you can see who has given and drawn from the Project Reserve Fund for the current Fiscal year.

Contingency Reserve Fund Analysis (Pages #49 - 55)

This is a quarterly report for the State Building Board, which shows an analysis of estimated future demands on the contingency reserve fund. It should be noted that this reserve fund only applies to projects funded with general funds, education funds, or general obligation bonds. The analysis assumes that contingency funds are utilized evenly over the life of the project. In reality, some projects have greater draws early in the project and others late in the project. So it is reasonable to assume that this averages into an even utilization of the contingency budget over the life of the project. The analysis lists all open construction contracts on open projects that have contributed to and are eligible to draw from the contingency reserve along with the percentage completion of the construction contract. The current projected excess of \$121,253 says that the fund has the correct balance at this time.

Statewide Funds Reports (Pages #56 - 62)

No significant items

Construction Contract Status (Pages #63 - 79)

This quarterly report shows the status of each construction contract that was open during the preceding quarter. The main intent of this report is to show those contracts/projects that are over the contractual completion time.

DDW:jr:ccn

Attachments



Division of Facilities Construction and Management
 4110 State Office Building, Salt Lake City, UT 84114
 Telephone (801) 538-3017 FAX (801) 538-3267

LEASE REPORT

From 04/15/2014 to 05/15/2014

No	Agency/Location	Services	Space Type	Lease Term	Square Feet		Cost/Sq. Ft.		Comment
					Old	New	Old	New	

LEASES

1.									
2.									

AMENDMENTS

1.	041427 Human Services Child & Family Services Christmas Box House, Ogden	Renewal	Office	1/1/14 – 6/30/18	10,362	\$6.22	\$6.53	Amendment-2 Lease for 4.5 years with increase in rent 3% annually.
2.	971749 Public Safety UHP-Wendover Boulevard and 9 th Street	Renewal	Office	7/1/14- 6/30/19	754	\$11.50	\$11.60	Amendment-5 Lease for 5 yrs. Increase in rent.
3.	091129 Corrections AP&P Juab County 146 N. Main St. Nephi	Renewal	Office	1/1/14- 12/31/15	350	\$12.00	\$13.71	Amendment-1 Lease for 1 yr. Increase in rent.
4.	942020 Natural Resource Water Rights 130 N. Main Richfield	Renewal	Office	11/01/14- 04/30/15	3,000	\$7.00		Amendment-6 Lease for 6 mo.
5.	011364 Human Services Child & Family Svs. 305 N. Main, Tooele	Renewal	Office	5/1/14- 6/30/16	9,385	\$23.64		Amendment-5 Lease for 2 yrs and 2 months.
6.								



Division of Facilities Construction and Management
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LEASE REPORT

From 03/15/2014 to 04/15/2014

No	Agency/Location	Services	Space Type	Lease Term	Square Feet		Cost/Sq. Ft.		Comment
					Old	New	Old	New	

LEASES

1.									
2.									

AMENDMENTS

1.	031559 Human Services Juvenile Justice, Orem	Renew	Office	2/1/14 – 6/30/18	3,346	5,000		12.88	Renewal, Amendment-6 (4 years) Juvenile Justice adding 1,654 sq. ft.
2.	090913 Corrections, Adult Probation & Parole	Renew	Office	7/1/13 – 6/30/14	200			21.22	Renewal, Lessor is Park City Municipal Corporation
3.	93-3239 Agriculture ADC	Renew	Office	10/1/13 – 9/30/15	160			11.25	Renewal, Amendment-12 no changes
4.	061549 Public Safety Emergency Services, Salt Lake City	Renew	Storage	05/01/14- 04/30/19	3,600		5.62	5.84	Renewal Amendment-1 Mobile Command
5.	111359 Environmental Quality (Air) Fruitland, Duchesne County	Renew	Air Monitoring Site	5/1/14 – 4/30/18	576			1.04	Renewal Amendment-2



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LEASE REPORT

From 03/15/2014 to 04/15/2014

No	Agency/Location	Services	Space Type	Lease Term	Square Feet		Cost/Sq. Ft.		Comment
					Old	New	Old	New	
6.	031479 Public Safety, Highway Patrol, Heber (Jordanelle)	Renew	Office	4/1/14 – 3/31/15	3,789			14.00	Renewal- Amendment-4
7.	090108 Pubic Safety Driver's License 55 S. Main St. Panguitch	Renew	Office	7/1/13 – 6/30/18	700				Renewal- Amendment-1
8.	020168 Health, Admin. 130 S. Redwood Rd. #D N. Salt Lake, SL County	Renew	Warehouse	7/1/14 – 6/30/19	9,890	13,610	6.06	6.36	Renewal – Amendment-4 5 year lease with increase in rent of 2% Annually
9.	021351 Public Safety Admin-UHP/DL/CBI	Renew	Office	5/1/14 – 4/30/17	7,980		19.28	19.32	Renewal-Amendment-4 3 year lease.
10.	980689 Delta DCFS 39 South 300 East, Delta	Renew	Office	1/1/14 – 6/30/18	1,892	700	13.71	14.07	Renewal- Amendment 4 Reduced Space 1% Annual Increase.



State of Utah

Division of Facilities and Construction Management

Professional Contracts Awarded

Contract Type = P; Award Date >= 03/18/2014; and less than 05/14/2014

#	Agency	Contract Name	Firm	Type	Budget	Award
Miscellaneous Services						JAIM
1	Courts 08284150	Administrative Office Of The Courts new Ogden Sec	Construction Control Corp	Unclass Consult 147240	\$50,000	\$21,240
2	National Guard 14101480	Camp Williams Jltc #7 Secure Classroom Facility w	Ridgeline Design Architects	Design 147300	\$51,000	\$47,152
3	Capitol Preservation Bd 10219050	Capitol Preservation Board capitol Hill Misc Repa	Mjsa Architecture Pc	Design 147249	\$7,000	\$6,515
4	Capitol Preservation Bd 14058050	Capitol Preservation Board mormon Battalion Resto	Mjsa Architecture Pc	Design 147298	\$63,750	\$63,750
5	Developmental Center 14032410	Department Of Human Services usdc Infrastructure	Whw Engineering Inc	Design 147280	\$166,000	\$43,300
6	Dnr - Parks & Recreation 13373510	Division Of Parks And Recreation utah Lake State	Johansen & Tuttle Engineering	Design 147303	\$6,558	\$11,500
7	Driver License Division 14033550	Dld uinta Basin Driver License Division brian Ba	Jrca Architects Inc	Design 147287	\$58,375	\$56,335
8	Dixie Atc 13375290	Dxatc dxatc Permanent Campus Building kurt Baxte	Method Studio	Programming 147286	\$1,778,242	\$284,120
9	University Of Utah 13042750	Inspections uu Basketball Training Center enzo C	Staheli & Associates john Staheli	Insp Observ Ser 147275	\$181,131	\$161,970
10	Dnr - Parks & Recreation 14023510	Park & Recreation jordanelle State Park Boat Park	King Engineering Inc	Design 147271	\$12,348	\$8,160
11	Salt Lake Comm College	Salt Lake Community College-redwood Rd	R&r Environmental	Haz Mat Consult	\$90,000	\$49,540



State of Utah

Division of Facilities and Construction Management

Professional Contracts Awarded

Contract Type = P; Award Date >= 03/18/2014; and less than 05/14/2014

#	Agency	Contract Name	Firm	Type	Budget	Award
Miscellaneous Services						
10036660		nelson Adm		147277		
12	Snow College South 13165710	Snow College Rich Field Washburn Bldg Hvac/ vfd Rep	Van Boerum & Frank Assoc Inc	Design 147177	\$15,074	\$12,160
13	Southwest Atc 11342270	Swatc allied Health And Technology Building kurt	Frank N Murdock Jr Arch & Assoc	Programing 147295	\$999,840	\$83,600
14	Dfcm - Statewide Funds 11303300	Udot kamas Maintenance Station Phase Ii bill Jus	Epic Engineering	Insp Observ Ser 147289	\$110,000	\$13,041
15	Dept Of Transportation 14071900	Udot udot Mtf Bldg. Fire Alarm Upgrade taylor Ma	Protection Consultants Inc	Design 147294	\$9,768	\$6,360
16	University Of Utah 13336750	University Of Utah huntsman Cancer Institute Phas	Mkk Counsulting Engineers	Energy 147259	\$6,752,183	\$29,950
17	University Of Utah 12336750	University Of Utah new Mid-valley Health Center	Etc Group Inc	Energy 147217	\$1,753,141	\$25,400
18	National Guard 14024480	Ut National Guard draper Csms Main Electrical Se	Spectrum Engineers Inc	Design 147255	\$47,500	\$36,620
19	National Guard 14102480	Utah National Guard camp Williams - Solar Farm	Forsgren Associates	Geotechnical 147301	\$20,000	\$17,575
20	National Guard 13356470	Utah National Guard	Architectural Nexus	Design 147299	\$58,000	\$44,900



State of Utah

Division of Facilities and Construction Management

Professional Contracts Awarded

Contract Type = P; Award Date >= 03/18/2014; and less than 05/14/2014

#	Agency	Contract Name	Firm	Type	Budget	Award
Miscellaneous Services						JAIM
		camp Wms Bldgs 15170 And 9000				
21	National Guard 11020480	Utah National Guard - Camp Williams rti Tass Com	Cmt Engineering Laboratories	Insp Observ Ser 147252	\$685,000	\$42,264
22	Schools For Deaf & Blind 13377230	Utah Schools For The Deaf And Blind temporary Cla	Jacoby Architects	Design 147250	\$40,000	\$40,000
23	Fairpark 13355370	Utah State Fairpark goat, Dairy, And Beef Barns	R&r Environmental	Haz Mat Consult 147293	\$75,000	\$48,540
24	Fairpark 14025370	Utah State Fairpark property Utilization Optimiz	Cooper Roberts Simonsen Architects	Prg Mstr Plan 147276	\$200,000	\$95,554
25	Utah Valley University 14035790	Utah Valley University Uvu Campus Parking Lots:	Electrical Engineering & Lighting Design	Design 147285	\$8,200	\$8,200
26	Utah Valley University 14037790	Utah Valley University ee Building, Ucas Building	Protection Consultants Inc	Design 147282	\$13,474	\$10,750
27	Utah Valley University 14039790	Utah Valley University sparks Automotive Building	Van Boerum & Frank Assoc Inc	Design 147284	\$6,737	\$6,000
28	University Of Utah 14010750	Uu architecture Building Reroof matt Boyer	Scott P Evans Architect&assoc	Design 147266	\$21,477	\$18,803
29	Utah Valley University 14040790	Uvu Woodbury Business Building Restroom Remodel 1	Prior & Associates	Design 147290	\$20,211	\$20,000



State of Utah

Division of Facilities and Construction Management

Professional Contracts Awarded

Contract Type = P; Award Date >= 03/18/2014; and less than 05/14/2014

#	Agency	Contract Name	Firm	Type	Budget	Award
Miscellaneous Services						JAIM
30	Weber State University 12345810	Weber State University buildings 3 And 4 - Asbest	R&r Environmental	Haz Mat Consult 147288	\$408,000	\$48,540
31	Weber State University 13374810	Weber State University steam Tunnel Upgrades Phas	Whw Engineering Inc	Design 147203	\$34,430	\$33,600
32	Weber State University 14016810	Weber State University wsu East Stadium Restroom	Vcbo Architecture Llc	Design 147296	\$33,080	\$32,500
33	Weber State University 11077810	Weber State University - Davis Campus professiona	Utah New Vision Construction Llc	Commissioning 147281	\$301,545	\$9,900



State of Utah

Division of Facilities and Construction Management

Construction Contracts Awarded

Contract Type = C; Award Date >= 03/18/2014; and less than 05/14/2014

#	Agency	Contract Name	Firm	Type	Budget	Award
Construction						JAIM
1	Courts - Juvenile Courts 13251150	Administrative Office Of The Courts orem Fourth D	Building Automation Controls / Air Pro	Const Remodel 147732	\$41,841	\$28,000
2	Courts 13253150	Administrative Office Of The Courts price Courts	Rod Lewis Construction Llc	Const Remodel 147731	\$58,684	\$32,704
3	Courts 13182150	Administrative Office Of The Courts tooele Front	Rod Lewis Construction Llc	Const Remodel 147740	\$100,211	\$24,687
4	Dfcm - Managed Buildings 12249310	Capitol Hill Install Electrical Car Charging Stati	Skyline Electric Inc	Const Remodel 147746	\$100,000	\$21,575
5	Dfcm - Managed Buildings 12249310	Clearfield Human Services Magnetic Door Holds joa	Wasatch Controls	Const Remodel 147738	\$100,000	\$24,880
6	Davis Atc 11081220	Davis Applied Technology College datc It Area Rem	Rod Lewis Construction Llc	Const Remodel 147776	\$363,790	\$31,457
7	Corrections - Cucf 13170110	Department Of Corrections central Utah Correction	Staker Parson Companies dba Hales Sand And Gravel	Paving 147730	\$275,665	\$204,895
8	Corrections - Draper 14022100	Department Of Corrections draper Prison - Lone Pe	Eme Inc.	Const Remodel 147744	\$25,222	\$18,336
9	Corrections - Ap&p 12066120	Department Of Corrections orange Street And Nuucc	Roto Rooter	Const Remodel 147729	\$322,612	\$17,522
10	Developmental Center 13172410	Department Of Human Services utah State Developme	Preferred Paving	Const Site Imp 147733	\$138,370	\$60,739
11	State Hospital 13173420	Department Of Human Services utah State Hospital	Staker & Parson Companies	Paving 147785	\$152,614	\$107,175



State of Utah

Division of Facilities and Construction Management

Construction Contracts Awarded

Contract Type = C; Award Date >= 03/18/2014; and less than 05/14/2014

#	Agency	Contract Name	Firm	Type	Budget	Award
Construction						JAIM
12	Human Services 13063400	Department Of Human Services vernal Dhs Building	Commercial Mechanical Systems & Service	Const Remodel 147751	\$237,000	\$168,780
13	Dnr - Wildlife Resources 13178520	Department Of Natural Resources dwr Wahweap Range	Kendrick Bros Roofing Inc	Const Site Imp 147783	\$45,963	\$28,661
14	Public Safety 13210550	Department Of Public Safety farmington Ps Dld/uhp	Advanced Paving & Construction	Paving 147782	\$77,217	\$58,209
15	Dept Of Technology Serv 13329310	Department Of Technology Services richfield Data	Positive Power Lic	Const Remodel 147745	\$25,000	\$9,810
16	Dfcm - Statewide Funds 13080300	Division Of Parks And Recreation dead Horse Poin	Rocmont Industrial Corp	Haz Mat Const 147735	\$370,188	\$12,146
17	Dfcm - Managed Buildings 12124310	Division Of Facilities Construction & Management	Morgan Pavement Maintenance dba Morgan Pavement	Paving 147534	\$166,000	\$57,642
18	Dnr - Parks & Recreation 13176510	Division Of Parks & Recreation fremont Indian Sta	Morgan Asphalt Inc	Paving 147737	\$118,000	\$118,413
19	Dnr - Parks & Recreation 14023510	Division Of Parks And Recreation jordanelle State	Miller Paving Inc	Paving 147784	\$139,353	\$130,830
20	Dnr - Wildlife Resources 13368520	Division Of Wildlife nash Wash Solar System Repa	Positively Energized	Const Remodel 147787	\$35,400	\$35,000
21	Dixie St College Of Utah 13236640	Dixie State University new Boiler For The Campus	Mechanical Service & Systems I	Const Remodel 147749	\$636,000	\$673,363



State of Utah

Division of Facilities and Construction Management

Construction Contracts Awarded

Contract Type = C; Award Date >= 03/18/2014; and less than 05/14/2014

#	Agency	Contract Name	Firm	Type	Budget	Award
Construction						JAIM
22	Dfcm - Statewide Funds 13080300	Dixie State University, Nisson Towers emergency A	Environmental Abatement Inc	Haz Mat Const 147769	\$370,188	\$17,859
23	Dfcm - Statewide Funds 13080300	Dixie State University, Nisson Towers emergency A	Environmental Abatement Inc	Haz Mat Const 147774	\$370,188	\$12,363
24	Dnr - Wildlife Resources 13352520	Dwr Egan Hatchery Spring House Structural Upgrades	Rocmont Industrial Corp	Haz Mat Const 147727	\$25,000	\$24,948
25	Dept Of Transportation 14029310	Motor Carrier Hvac Remodel joanna Reese	Commercial Mechanical Systems & Service	Const Remodel 147775	\$60,316	\$63,036
26	Salt Lake Comm College 13088670	Salt Lake Community College south City Campus -	Environmental Abatement Inc	Haz Mat Const 147790	\$49,000	\$48,895
27	Salt Lake Comm College 13044660	Salt Lake Community College - Redwood Road Campus	Johnson Controls Inc	Const Remodel 147676	\$100,013	\$48,215
28	Salt Lake Comm College 13088670	Slcc slcc South City Campus North Wing Main Bldg	Ascent Construction Inc	Const Remodel 147803	\$773,460	\$409,980
29	Snow College 13164700	Snow College - Ephraim Campus humanities Building	Sr Mechanical	Const Remodel 147763	\$454,500	\$454,500
30	Snow College 13168700	Snow College Ephraim Campus lucy Phillips Buildin	Sumsion Construction	Paving 147736	\$181,703	\$181,079
31	Snow College South 13165710	Snow College Richfield Campus snow College Richf	Sr Mechanical	Const Remodel 147766	\$210,640	\$210,640
32	Dfcm - Managed	Sound Proofing Deq South Side Windows	B & D Glass	Const Remodel	\$100,000	\$20,938



State of Utah

Division of Facilities and Construction Management

Construction Contracts Awarded

Contract Type = C; Award Date >= 03/18/2014; and less than 05/14/2014

#	Agency	Contract Name	Firm	Type	Budget	Award
Construction						
	Buildings 12249310	joanna Rees		147765		
33	Dfcm - Statewide Funds 12107300	Southern Utah University pe Parking Lot Paving SI	Holbrook Asphalt Co	Paving 147759	\$513,780	\$24,959
34	Dfcm - Managed Buildings 12249310	Unified Lab 3rd Floor Office Addition joanna Rees	Ehp Construction Inc	Const Remodel 147758	\$100,000	\$23,581
35	University Of Utah 13336750	University Of Utah huntsman Cancer Institute Phas	Jacobsen Construction	Constr Cmgc 147722	\$73,102,127	\$80,000
36	Utah State University 13189770	Usu Wellness Center Roofing Improvements utah Sta	North Face Roofing Inc	Roofing 147802	\$478,849	\$351,100
37	Mountainland Atc 14007260	Utah College Of Applied Technology mountainland A	Oma Construction	Const Remodel 147793	\$573,808	\$554,039
38	Agriculture 13119010	Utah Department Of Agriculture & Food door Hardwa	Bedier Construction	Const Remodel 147761	\$101,895	\$87,510
39	National Guard 13365470	Utah National Guard orem Armory Paving Improvemen	Morgan Pavement Maintenance dba Morgan Pavement	Const Site Imp 147734	\$68,368	\$50,680
40	Schools For Deaf & Blind 13377230	Utah School For Deaf And Blind temporary Classroom	Landmark Companies Inc	Const Remodel 147748	\$165,000	\$93,860
41	Schools For Deaf & Blind 13377230	Utah Schools For Deaf And Blind temporary Classro	Modular Space Corporation Db a Modspace	Const Remodel 147747	\$165,000	\$96,843



State of Utah

Division of Facilities and Construction Management

Construction Contracts Awarded

Contract Type = C; Award Date >= 03/18/2014; and less than 05/14/2014

#	Agency	Contract Name	Firm	Type	Budget	Award
Construction						JAIM
42	Fairpark 13355370	Utah State Fairpark state Fairpark Barns Life Saf	Ascent Construction Inc	Const Remodel 147757	\$2,159,010	\$1,995,813
43	Utah State University 13187770	Utah State University hper Upper And Lower South	Perkes Roofing Inc	Roofing 147742	\$730,511	\$625,710
44	Utah Valley University 13150790	Utah Valley University campus Wide Paving Improve	Staker & Parson Companies	Const Remodel 147728	\$689,515	\$501,607
45	Weber State University 13128810	Weber State University medium Voltage Upgrades Ph	Probst Electric Inc	Const Remodel 147767	\$468,354	\$428,594
46	Weber State University 13339810	Weber State University wsu University Village Re	Perkes Roofing Inc	Const Remodel 147739	\$650,000	\$644,762
47	Weber State University 13005810	Wsu technical Education Building Reroof & Seismic	Broderick & Henderson Construction Lc	Roofing 147772	\$1,016,950	\$1,062,300
48	Weber State University 12345810	Wsu tracy Hall Science Center mueller	Okland Construction Company, Inc.	Constr Cmgc 147794	\$57,056,187	\$715,000

DFCM

Division of Construction and Management
 4110 State Office Building Salt Lake City, UT 84144
 Telephone (801) 538-3018 Fax (801) 538-3267

Jun-14

REPORT OF CONTINGENCY RESERVE FUND

PROJECT TITLE			DEVELOPMENT STATE FUNDS CURRENT TRANSFERS	IMPROVEMENT STATE FUNDS CURRENT TRANSFERS	TRANSPORTATION FUNDS CURRENT TRANSFERS	TOTAL TRANSFERS FROM CONTINGENCY	% TO CONSTR. BUDGET	PROJECT STATUS	% Complete
BEGINNING BALANCE			4,509,665.61	5,388,909.08	7,415.55				
INCREASES TO CONTINGENCY RESERVE FUND									
FUNDING									
12222	USDC	Evergreen Bldg HVAC Replacement	-	19,822.00	-	-	0.00%	Design	0%
OTHER INCREASES									
11064	Tooele	Applied Technology College Campus	5,959.79	-	-	204,293.60	1.51%	Complete	100%
12041	WSU	Event Center Parking Improvements Phase III	-	3,346.57	-	-	0.00%	Complete	100%
DECREASES TO CONTINGENCY RESERVE FUND									
CONSTRUCTION / REMODELING									
10036	SLCC	RRC New Instructional and Admin Complex	(485,679.00)	-	-	1,783,054.00	5.72%	Construction	99%
12042	U OF U	Electrical/High Temp Water Utilities Upgrades	(255,035.00)	-	-	255,481.00	0.72%	Construction	70%
12176	Corrections	USP Wasatch Kitchen Floor Replacement	-	(57,305.40)	-	57,305.40	14.70%	Construction	86%
12192	UVU	New Classroom Building	(52,274.00)	-	-	1,175,606.54	2.82%	Construction	31%
13319	DWS	Admin Parking Structure Drain Line	-	(40,779.00)	-	40,779.00	56.44%	Construction	0%
11065	USH	Building Consolidation	(26,336.00)	-	-	1,378,000.00	5.42%	Construction	90%
12180	Courts	Tooele Security Upgrades	-	(9,822.50)	-	9,822.50	5.42%	Complete	100%
13163	UVU	Walkway Lighting Repairs	-	(9,190.00)	-	9,190.00	9.80%	Construction	42%
13149	UDC	Bonneville AP&P Restroom/Water Heaters	-	(8,621.66)	-	16,188.37	8.20%	Construction	60%
13303	UDC	Draper Wardens Admin Bldg Boiler	-	(4,374.00)	-	4,374.00	4.30%	Construction	88%
13129	WSU	South Science Lab Irrigation	-	(3,883.83)	-	19,447.83	8.55%	Construction	0%
13195	Courts	Brigham City HVAC Head End/Boiler	-	(2,429.00)	-	10,544.00	7.57%	Construction	51%
12093	SLCC	RRC ATC Restroom Remodel	-	(2,140.00)	-	15,139.00	5.05%	Complete	100%
12065	Corrections	USP "A" Gate Fire Hydrant	-	(2,042.50)	-	2,042.50	8.31%	Complete	100%
13106	SUU	Centrum Ramp Replacement	-	(1,718.00)	-	1,718.00	1.23%	Construction	0%
13312	DNR	Admin Boiler Replacement	-	(1,130.00)	-	8,226.79	4.76%	Construction	0%
12134	SUU	Centrum Chiller/Cooling Tower Replacement	-	(890.10)	-	890.10	0.14%	Construction	86%
12181	Courts	West Jordan HVAC Controls/Security Area Heating	-	(750.75)	-	750.75	1.59%	Construction	92%
13135	Courts	Layton Fire Alarm/HVAC Improvements	-	(543.00)	-	3,667.00	2.57%	Construction	25%
12155	DNR	Admin Bldg Sidewalk Repair	-	(459.24)	-	459.24	1.28%	Complete	52%
12163	WSU	Replace Campus Sidewalks & Handrails	-	(221.71)	-	9,939.06	3.43%	Complete	100%
12193	SLCC	SCC Garbage Dumpster Containment	-	(90.00)	-	90.00	0.36%	Complete	100%
PLANNING / OTHER									
00000	DFCM	To FY14 DFCM Admin Per 2014 Senate Bill #3 Item #131 Development Port	(1,500,000.00)	-	-	1,500,000.00	100.00%		NA
00000	DFCM	To FY14 DFCM Admin Per 2014 Senate Bill #3 Item #131 - Improvement po	-	(1,500,000.00)	-	1,500,000.00	100.00%		NA
TOTAL			2,196,301.40	3,765,686.96	7,415.55				

DFCM

Division of Construction and Management
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May-14

REPORT OF CONTINGENCY RESERVE FUND

PROJECT TITLE			DEVELOPMENT STATE FUNDS CURRENT TRANSFERS	IMPROVEMENT STATE FUNDS CURRENT TRANSFERS	TRANSPORTATION FUNDS CURRENT TRANSFERS	TOTAL TRANSFERS FROM CONTINGENCY	% TO CONSTR. BUDGET	PROJECT STATUS	% Complete
BEGINNING BALANCE			5,155,439.23	5,522,986.97	7,415.55				
INCREASES TO CONTINGENCY RESERVE FUND									
FUNDING									
None									
OTHER INCREASES									
09065	Courts	Davis County Courts Hvac Wtr Balancing/Repr	-	9,179.02	-	4,887.34	0.35%	Closed	100%
11104	WSU	Dee Event Center Controls Upgrade	-	1,700.00	-	33,640.66	11.85%	Closed	100%
DECREASES TO CONTINGENCY RESERVE FUND									
12192	UVU	New Classroom Building	(321,098.63)	-	-	1,123,332.54	2.69%	Construction	31%
10036	SLCC	RRC New Instructional and Admin Complex	(115,624.00)	-	-	1,297,375.00	4.16%	Construction	99%
06291	USTAR	UU Neuroscience Research Center	(101,447.38)	-	-	4,465,571.38	2.63%	Construction	94%
11194	USU	Business Bldg Addition/Remodel	(89,375.84)	-	-	5,929.84	0.02%	Construction	15%
13100	Parks	Snow Canyon Culinary Water Line	-	(22,631.11)	-	22,631.11	5.95%	Complete	85%
12039	DFCM	Utah Space Standards Update	-	(21,305.00)	-	86,305.00	132.78%	Programming	0%
13102	BATC	Generator	-	(20,811.73)	-	20,811.73	3.87%	Construction	61%
13081	DHS	USH Laundry/Recreation Storage Building	-	(15,389.71)	-	15,389.71	3.00%	Construction	0%
11186	SUU	Exterior Path of Travel Study	-	(12,093.90)	-	42,276.90	15.65%	Construction	96%
10135	DFCM	Heber Wells/DWS Admin Blds Widewalk Replace	-	(11,557.36)	-	23,397.76	6.31%	Complete	100%
11093	Fairpark	North Temple St Sewer Connections	-	(10,383.32)	-	(1,509.68)	-0.44%	Closed	100%
11064	Tooele	Applied Technology College Campus	(8,227.77)	-	-	210,253.39	1.56%	Complete	100%
13195	Courts	Brigham City HVAC Head End/Boiler	-	(8,115.00)	-	8,115.00	5.83%	Construction	51%
13209	DFCM	Ogden Regional Restroom ADA Modifications	-	(5,099.00)	-	5,099.00	1.95%	Construction	42%
10032	DFCM	Governor's Carriage House Improvements	-	(4,652.85)	-	70,895.19	5.77%	Closed	100%
11098	WSU	Replace Domestic Hot Water Tanks And Heat Exchangers	-	(3,970.00)	-	69,205.05	14.36%	Complete	100%
13312	DNR	Admin Boiler Replacement	-	(3,852.14)	-	7,096.79	4.11%	Construction	0%
13135	Courts	Layton Fire Alarm/HVAC Improvements	-	(3,124.00)	-	3,124.00	2.19%	Construction	25%
12188	Health	Upgrade Corridor Fire Doors	-	(1,971.79)	-	1,971.79	0.80%	Construction	13%
TOTAL			4,509,665.61	5,388,909.08	7,415.55				

CHANGE ORDER JUSTIFICATION STATEMENT (FOR INTERNAL USE ONLY)

To be submitted to DFCM Accounting at time the Project Manager has a Change Order executed by Contractor and the Project Manager.

CHANGE ORDER # 20

PROJECT NAME: Instructional and Administration Building PROJECT NUMBER: 10036660
 AGENCY: Salt Lake Community College CONTRACT NUMBER: 127406
 CONTRACTOR: Okland Construction DESIGNER: AJC Architects

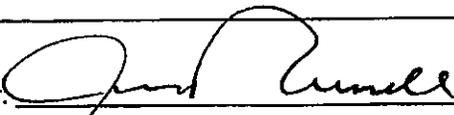
The attached documentation supports the list of items on the change order cover sheet. These items have been reviewed and negotiated or accepted to be a reasonable adjustment of the contract amount and time. The purpose of this document is to describe the DFCM asserted cause for the change order, describe each item, categorize the change, list the approved funding and the funding source.

In the space below, and on additional pages if required, explain why this change is necessary. Explain the reasons for all time delays, costs changes and new timeframes. If the reason is "other," provide explanation.

PCO/CCD	Description	Category (reason)	Funding Source	Amount	Time
PCO #136	Provide additional electrical circuits for smoke evacuation windows as per manufacture requirements	3	Statewide Contingency Fund	\$4,572	
PCO #198	Provide metal skirt and planters at the level 4 patio as per SLCC President	6	Statewide Contingency Fund	\$16,423	2
PCO #222	Provide heat trace at north entry canopy	6	Statewide Contingency Fund	\$1,394	1
PCO #210	Provide various hardware revisions per SLCC	2	SLCC Funds	\$2,692	1
PCO #218	Provide wire mold for smoke evacuation system due to window manufacture not allowing the mullions to be used as a wire chase as in typical installations.	3	Statewide Contingency Fund	\$10,406	
PCO #224	Provide pattern glass at the mid height panels and door for conference room 301A as per SLCC	2	SLCC Funds	\$11,729	1
PCO #208	Provide acoustical panels at the 2 nd floor opening in the east wing	6	Statewide Contingency Fund	\$16,293	2
PCO #177	Provide revised stair nosing and wood to concrete transition at atrium on level 2	6	Statewide Contingency Fund	\$5,017	3
Total				\$68,526	10

CATEGORY (REASON):

1. DFCM initiated Scope Change
2. Agency Requested Scope Change
3. Unforeseen Condition
4. Budget Expenditure (Award) in CM/GC
5. Design Error (including Scope Change due to deficiencies in Design Documents)
6. Design Omission (including Scope Change due to deficiencies in Design Documents)
7. Other: _____

By DFCM Project Manager:  Date: 4/1/14



State of Utah

Division of Facilities and Construction Management

Consulting Contract = 127406

Construction Contract Summary

127406 - Salt Lake Community College redwood Road Campus instructio

Project Title: Slcc Rrc New Instructional And Administrative Complex **Vendor #:** 78012B
Project #: 10036660 Oakland Construction Company, Inc.
Program Director: Jim Russell (163400) 1978 South West Temple
Open PO's-Prj: Salt Lake City, Ut 84115-7103
Contract Name: Salt Lake Community College | Redwood Road Campus | Instructio **Status:** Notice To Proceed
Contract Type: Const New Space **DO #:** 12050760177

Component Group: Construction **Expense Budget:** 6813
Component: Construction(8) **Property #:**
Account: 3000-300-3334-FVA-10036660 **Retainage #:** 8694848

Project Title: Slcc Rrc New Instructional And Administrative Complex **Vendor #:** 78012B
Project #: 10036660 Oakland Construction Company, Inc.
Program Director: Jim Russell (163400) 1978 South West Temple
Open PO's-Prj: Salt Lake City, Ut 84115-7103
Contract Name: Salt Lake Community College | Redwood Road Campus | Instructio **Status:** Notice To Proceed
Contract Type: Const New Space **DO #:** 12050760177

Component Group: Construction **Expense Budget:** 6811
Component: Construction(8) **Property #:**
Account: 3000-300-3334-FVA-10036660 **Retainage #:** 8694848

Funding Sources

Funding Source	Budget %	Appropriation	Allotment
GFFY2011	98.53	\$29,000,000.00	\$0.00
GFFY2012	1.47	\$400,000.00	\$0.00
Funding Totals:	100.00	\$29,400,000.00	\$0.00

Payment Summary

Date	Invoice #	Status	Amount
5/18/12	10036660#1	Invoice Released	\$100,410.44
6/7/12	10036660#2	Invoice Released	\$475,915.25
7/13/12	10036660#3	Invoice Released	\$666,790.82
8/21/12	10036660#4	Invoice Released	\$1,077,398.42
9/20/12	10036660#5	Invoice Released	\$1,639,252.98
10/26/12	10036660#6	Invoice Released	\$1,560,835.37
11/21/12	10036660#7	Invoice Released	\$2,187,187.02
12/13/12	10036660#8	Invoice Released	\$2,359,525.36

Change Order Summary

Awards		
Award Date	Number	Amount
2/3/12	A001	\$20,000.00
Total Award:		\$ 20,000.00

Change Orders

Date	Number	Status	Amount
5/7/12	C001	Co Executed	\$27,533,325.00
10/10/12	CO 002	Co Executed	\$115,074.00



State of Utah

Division of Facilities and Construction Management

Consulting Contract = 127406

Construction Contract Summary

Date	Invoice #	Status	Amount
1/14/13	10036660#9	Invoice Released	\$1,793,363.70
2/11/13	10036660#10	Invoice Released	\$2,335,099.17
3/12/13	10036660#11	Invoice Released	\$2,254,257.56
4/5/13	10036660#12	Invoice Released	\$2,009,421.75
5/17/13	10036660#13	Invoice Released	\$1,704,202.45
6/10/13	11036660#14	Invoice Released	\$1,842,549.45
7/8/13	10036660#15	Invoice Released	\$1,420,386.41
8/15/13	10036660#16	Invoice Released	\$1,263,189.48
9/19/13	10036660#17	Invoice Released	\$1,602,967.66
11/14/13	10036660#18	Invoice Released	\$456,684.01
1/21/14	10036660#19	Invoice Released	\$597,122.32
3/18/14	10036660#20	Invoice Released	\$80,824.13
4/17/14	10036660#21	Invoice Released	\$218,305.85
Total Payments:			\$ 27,645,689.60

Retainage Summary

Date	Invoice #	Status	Amount
5/18/12	127406#1	Invoice Released	\$5,284.76
6/7/12	127406#2	Invoice Released	\$25,048.17
7/13/12	127406#3	Invoice Released	\$35,094.25
8/21/12	127406#4	Invoice Released	\$56,705.18
9/20/12	127406#5	Invoice Released	\$86,276.48
10/26/12	127406#6	Invoice Released	\$82,149.23
11/21/12	127406#7	Invoice Released	\$115,115.10
12/13/12	127406#8	Invoice Released	\$124,185.55
1/14/13	127406#9	Invoice Released	\$94,387.56
2/11/13	127406#10	Invoice Released	\$122,899.96
3/12/13	127406#11	Invoice Released	\$118,645.13
4/5/13	127406#12	Invoice Released	\$105,759.04
5/17/13	127406#13	Invoice Released	\$89,694.87
6/10/13	127406#14	Invoice Released	\$96,976.28
7/8/13	127406#15	Invoice Released	\$74,757.18
8/15/13	127406#16	Invoice Released	\$66,483.66
Retainage Total:			\$1,299,462.40

Release Summary

Release Date	Release	Amount
9/19/13	Release # 1	\$ 40,626.33
11/14/13	Release # 2	\$ 179,317.57
1/21/14	Release # 3	\$ 27,827.23

Change Orders

Date	Number	Status	Amount
11/21/12	CO 003	Co Executed	\$75,739.00
11/21/12	CO 004	Co Executed	\$6,038.00
2/6/13	CO 005	Co Executed	\$53,096.00
2/27/13	CO 006	Co Executed	\$78,706.00
3/20/13	CO 007	Co Executed	\$48,136.00
3/20/13	CO 008	Co Executed	\$44,447.00
5/20/13	CO 009	Co Executed	\$108,160.00
5/30/13	CO 010	Co Executed	\$73,241.00
6/25/13	CO 011	Co Executed	\$37,048.00
8/26/13	CO 012	Co Executed	\$66,094.00
10/7/13	CO 013	Co Executed	\$113,199.00
10/7/13	CO 014	Co Executed	\$194,190.00
11/12/13	CO 015	Co Executed	\$113,015.00
12/12/13	CO 016	Co Executed	\$38,499.00
1/13/14	CO 017	Co Executed	\$84,433.00
1/13/14	CO 018	Co Executed	\$97,343.00
2/12/14	CO 019	Co Executed	\$76,843.00
4/4/14	CO 020	Co Executed	\$68,526.00
5/9/14	CO 021	Co Executed	\$1,485,679.00

Change Order Total: \$30,510,831.00

Total Amendments (Less: Award Bid Pack Changes): \$2,977,506.00

Adjusted Contract Value: \$30,530,831.00

Change Order % of Original: 152554.16%

Percentage of Contract Paid: 94.81%

Dates		Days	
From	To	Target	Lapsed
2/17/12	7/26/14	890	818
<u>Adjusted</u>	<u>Substantial</u>	<u>Original</u>	<u>Days</u>
7/26/14	9/24/13	4/17/13	425
Percentage of Time Lapsed:			91.91%

Reasons for Change Orders

Reason	Percent	Amount
Scope - Ag/inst	23.24%	\$692,083.00
Omissions	0.65%	\$19,402.00
A/e Err - Dfcm	2.28%	\$67,769.00



State of Utah

Division of Facilities and Construction Management

Consulting Contract = 127406

Construction Contract Summary

Release Summary

Release Date	Release	Amount
3/18/14	Release # 4	\$ 696,681.24
4/17/14	Release # 5	\$ 355,010.03
	Release Total:	\$ 1,299,462.40
	Net Retainage:	\$ 0.00

Contract Summary

Adjusted Contract Value:	\$ 30,530,831.00
Paid to Contractor:	\$27,645,689.60
Retainage to Bank:	\$1,299,462.40
Total Paid:	\$28,945,152.00
Contract Balance:	\$1,585,679.00

Contractor Summary

Adjusted Contract Value:	\$ 30,530,831.00
Paid to Contractor:	\$27,645,689.60
Retainage Releases:	\$1,299,462.40
Total Paid to Contractor:	\$28,945,152.00
Contractor Balance:	\$1,585,679.00

Reasons for Change Orders

Reason	Percent	Amount
A/e Errors	0.13%	\$3,818.00
Award Bid Pack	924.71%	\$27,533,325.00
Unknown - Dfcm	37.12%	\$1,105,270.00
Unk Cond	1.96%	\$58,243.00
Time Extension	0.00%	\$0.00
Scope - Dfcm	26.09%	\$776,821.00
Omiss - Dfcm Cn	8.53%	\$254,100.00
Total Changes (less Award Bid Packs):		\$30,510,831.00



State of Utah

Division of Facilities and Construction Management

Consulting Contract = 147683

Construction Contract Summary

147683 - Salt Lake Community College Redwood Campus nelson Administr

Project Title: Slcc Rrc New Instructional And Administrative Vendor #: 62469B
Complex

Project #: 10036660 Rocmont Industrial Corp

Program Director: Jim Russell (163400) 774 South 500 West

Open PO's-Prj: Salt Lake City, Ut 84101-2222

Contract Name: Salt Lake Community College Redwood Campus Status: Contract Complete
nelson Administr

Contract Type: Haz Mat Const DO #: 14012997198

Component Group: Abatement Removal Expense Budget: 6819

Component: Abatement And Removal(3) Property #:

Account: 3000-300-3334-FVA-10036660 Retainage #:

Funding Sources

Funding Source	Budget %	Appropriation	Allotment
GFFY2011	100.00	\$29,000,000.00	\$0.00
Funding Totals:	100.00	\$29,000,000.00	\$0.00

Payment Summary

Date	Invoice #	Status	Amount
2/3/14	14527	Invoice Released	\$51,250.00
2/18/14	14543	Invoice Released	\$51,250.00
3/10/14	14562	Invoice Released	\$51,250.00
4/4/14	14578	Invoice Released	\$51,250.00
Total Payments:			\$ 205,000.00

Retainage Summary

Date	Invoice #	Status	Amount
Retainage Total:			

Release Summary

Release Date	Release	Amount
	Release # 1	
	Release # 2	
	Release # 3	
	Release # 4	
	Release # 5	
Release Total:		\$ 0.00
Net Retainage:		\$ 0.00

Contract Summary

Adjusted Contract Value: \$ 266,519.00

Change Order Summary

Awards

Award Date	Number	Amount
1/15/14	A001	\$205,000.00
Total Award:		\$ 205,000.00

Change Orders

Date	Number	Status	Amount
4/4/14	CO 001	Co Executed	\$61,519.00
Change Order Total:			\$61,519.00
Total Amendments (Less: Award Bid Pack Changes):			\$61,519.00
Adjusted Contract Value:			\$266,519.00

Change Order % of Original: 30.01%

Percentage of Contract Paid: 76.92%

Dates		Days	
From	To	Target	Lapsed
1/27/14	3/14/14	46	81
Adjusted	Substantial	Original	Days
3/14/14	3/17/14	3/14/14	0
Percentage of Time Lapsed:			176.09%

Reasons for Change Orders



State of Utah

Division of Facilities and Construction
Management

Consulting Contract = 147683

Construction Contract Summary

Paid to Contractor:	\$205,000.00
Retainage to Bank:	\$0.00
Total Paid:	\$205,000.00
Contract Balance:	\$61,519.00

Reason	Percent	Amount
Unknown - Dfcm	100.00%	\$61,519.00
Total Changes (less Award Bid Packs):		\$61,519.00

Contractor Summary

Adjusted Contract Value:	\$ 266,519.00
Paid to Contractor:	\$205,000.00
Retainage Releases:	\$0.00
Total Paid to Contractor:	\$205,000.00
Contractor Balance:	\$61,519.00

CHANGE ORDER JUSTIFICATION STATEMENT (FOR INTERNAL USE ONLY)

To be submitted to DFCM Accounting at time the Project Manager has a Change Order executed by Contractor and the Project Manager.

CHANGE ORDER #6

PROJECT NAME: UVU New Classroom Bldg. PROJECT NUMBER: 12192790 _____
 AGENCY: UVU CONTRACT NUMBER: 137871 _____
 CONTRACTOR: Big D Construction DESIGNER: CRSA Architects _____

The attached documentation supports the list of items on the change order cover sheet. These items have been reviewed and negotiated or accepted to be a reasonable adjustment of the contract amount and time. The purpose of this document is to describe the DFCM asserted cause for the change order, describe each item, categorize the change, list the approved funding and the funding source.

In the space below, and on additional pages if required, explain why this change is necessary. Explain the reasons for all time delays, costs changes and new timeframes. If the reason is "other," provide explanation.

PCO/CCD /COR	Description	Category (reason)	Funding Source	Amount	Time
COR 18	DFCM/UVU Requested changes to the Floor Boxes. Larger floor boxes were required to accommodate IT requirement for current need and future growth.	1	DFCM Contingency <i>Project funds</i>	8,419	
COR 25	UVU requested card access to storage rooms	2	Project Funds	6,944.93	
COR 26r02	Minor changes to a few doors, walls and finishes requested by Faculty	2	Project Funds	568	
COR 34	Information regarding wall types was not clearly identified on plans.	6	DFCM Contingency	3,133	
COR 35	This change is a DFCM requested change to move equipment and plumbing to have better access to service equipment.	1	DFCM Contingency	6,011	
COR 36	Additional steel was required to accommodate the mechanical piping	6	DFCM Contingency	16,966	
COR 40	Power added to fixed auditorium seats. Not included in drawings	6	DFCM Contingency	24,856	
COR 41	Change required for better access to AV room adjacent to the auditorium.	1	DFCM Contingency	5,931	
COR 43	Extension of Contract completion date based on weather delays	1	N/A	0	11
COR 44	MC cable substituted for conduit	1	Project Funds	(70,000)	
COR 47	Final Cost for dewatering	3	DFCM Contingency	21,958.63	
COR 48	VE Framing at west side of ceiling	1	Project Funds	(2,477.24)	
	Total			\$22,310.32	11

CATEGORY (REASON):

1. DFCM initiated Scope Change
2. Agency Requested Scope Change



State of Utah

Division of Facilities and Construction Management

Consulting Contract = 137871

Construction Contract Summary

**137871 - Utah Valley University
new Classroom Building
kurt Baxter**

Project Title:	Uvu New Classroom Building	Vendor #:	12332C
Project #:	12192790		
Program Director:	Kurt Baxter (148663)	Big D Construction Corporation	
Open PO's-Prj:		404 West 400 South	
Contract Name:	Utah Valley University new Classroom Building kurt Baxter	Salt Lake City, Ut 84101	
Contract Type:	Const New Space	Status:	Notice To Proceed
		DO #:	13082988527

Component Group:	Construction	Expense Budget:	6811
Component:	Construction(8)	Property #:	
Account:	3000-300-3336-FWA-12192790	Retainage #:	8695084

Funding Sources

Funding Source	Budget %	Appropriation	Allotment
EDFY2014	100.00	\$54,000,000.00	\$0.00
Funding Totals:	100.00	\$54,000,000.00	\$0.00

Payment Summary

Date	Invoice #	Status	Amount
8/29/13	12192790#1	Invoice Released	\$957,338.75
9/18/13	041032	Invoice Released	\$1,795,609.63
10/28/13	041088	Invoice Released	\$1,422,789.35
11/14/13	041191	Invoice Released	\$1,587,383.50
12/11/13	041255	Invoice Released	\$1,160,585.55
1/13/14	041398	Invoice Released	\$1,550,673.60
2/10/14	041520	Invoice Released	\$1,573,093.60
3/17/14	041543	Invoice Released	\$2,420,349.58
4/10/14	137871#9	New	\$116,462.40
4/10/14	041697	New	\$2,212,785.60
Total Payments:			\$ 14,797,071.56

Retainage Summary

Date	Invoice #	Status	Amount
8/29/13	137871#1	Invoice Released	\$50,386.25
9/18/13	137871#2	Invoice Released	\$94,505.77
10/28/13	137871#3	Invoice Released	\$74,883.65
11/14/13	137871#4	Invoice Released	\$83,546.50
12/11/13	137871#5	Invoice Released	\$61,083.45
1/13/14	137871#6	Invoice Released	\$81,614.40

Change Order Summary

Awards

Award Date	Number	Amount
6/20/13	A001	\$41,087,600.00
Total Award:		\$ 41,087,600.00

Change Orders

Date	Number	Status	Amount
10/21/13	CO 001	Co Executed	\$115,228.00
11/20/13	CO 002	Co Executed	\$69,728.11
12/31/13	CO 003	Co Executed	\$97,870.20
1/13/14	CO 004	Co Executed	\$181,977.50
3/3/14	CO 005	Co Executed	\$154,903.00
4/4/14	CO 006	Co Executed	\$22,310.32

Change Order Total: \$642,017.13

Total Amendments (Less: Award Bid Pack Changes): \$642,017.13

Adjusted Contract Value: \$41,729,617.13

Change Order % of Original: 1.56%

Percentage of Contract Paid: 37.03%

Dates	Days
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State of Utah

Division of Facilities and Construction Management

Consulting Contract = 137871

Construction Contract Summary

Retainage Summary

Date	Invoice #	Status	Amount
2/10/14	137871#7	Invoice Released	\$82,794.40
3/17/14	137871#8	Invoice Released	\$127,386.82
Retainage Total:			\$656,201.24

Release Summary

Release Date	Release	Amount
	Release # 1	
	Release # 2	
	Release # 3	
	Release # 4	
	Release # 5	
	Release Total:	\$ 0.00
	Net Retainage:	\$ 656,201.24

Contract Summary

Adjusted Contract Value:	\$ 41,729,617.13
Paid to Contractor:	\$14,797,071.56
Retainage to Bank:	\$656,201.24
Total Paid:	\$15,453,272.80
Contract Balance:	\$26,276,344.33

Contractor Summary

Adjusted Contract Value:	\$ 41,729,617.13
Paid to Contractor:	\$14,797,071.56
Retainage Releases:	\$.00
Total Paid to Contractor:	\$14,797,071.56
Contractor Balance:	\$26,932,545.57

From	To	Target	Lapsed
6/28/13	11/29/14	519	294
Adjusted	Substantial	Original	Days
11/29/14		10/31/14	490
Percentage of Time Lapsed:			56.65%

Reasons for Change Orders

Reason	Percent	Amount
Scope - Dfcm	-25.56%	-\$164,111.63
Unknown - Dfcm	34.60%	\$222,163.26
A/e Err - Dfcm	0.24%	\$1,552.00
Omiss - Dfcm Cn	90.72%	\$582,413.50
Total Changes (less Award Bid Packs):		\$642,017.13

CHANGE ORDER JUSTIFICATION STATEMENT (FOR INTERNAL USE ONLY)

To be submitted to DFCM Accounting at time the Project Manager has a Change Order executed by Contractor and the Project Manager.

CHANGE ORDER #13

PROJECT NAME: Electrical & HTW Utility Dist. Upgrade PROJECT NUMBER: 12042750
 AGENCY: University of Utah CONTRACT NUMBER: 127609
 CONTRACTOR: Layton Construction DESIGNER: Spectrum/KGE/Colvin

The attached documentation supports the list of items on the change order cover sheet. These items have been reviewed and negotiated or accepted to be a reasonable adjustment of the contract amount and time. The purpose of this document is to describe the DFCM asserted cause for the change order, describe each item, categorize the change, list the approved funding and the funding source.

In the space below, and on additional pages if required, explain why this change is necessary. Explain the reasons for all time delays, costs changes and new timeframes. If the reason is "other," provide explanation.

PCO/CCD	Description	Category (reason)	Funding Source	Amount	Time
PCO 0030	University Substation – substation undefined work as directed by KGE. Some portions of the substation were inaccessible until the substation was offline, so allowance was included for this scope of work.	1	Contractor Allowance	\$0	
PCO 0036	University Substation – Added fence as required by RMP	3	Statewide Contingency Fund	\$3,399	
PCO 0050	Distribution – revise manhole 9C and lighting in parking lot 39	3	Contractor Allowance	\$0	
PCO 0062	Distribution – replace landscaping near the Social Work Building at the boring site	2	Contractor Allowance	\$0	
PCO-0070	Distribution – increase in management staff for Layton Construction due to multiple sites being coordinated at the same time	1	Contractor Allowance	\$0	
PCO-0072	HTW- interior finishes at the Physics Building that were not able to be identified at the time of the bid	3	Contractor Allowance	\$0	
PCO-0073	HTW- potholing, excavation and landscaping at the Performing Arts Building as requested by the Owner	2	Contractor Allowance	\$0	
PCO-0076	HTW- replaces existing condensate pumps in the tunnel serving the Life Sciences and George Thomas bldgs. that were found to be faulty.	3	Statewide Contingency Fund	\$35,131	
PCO-0082	Distribution – reroute duct at the MEB and Presidents Circle	3	Contractor Allowance	\$0	
PCO 0083	Distribution – Manhole #21 ladder replacement as per Owner	2	Contractor Allowance	\$0	
PCO 0086	HTW- remove and replace 4" blow down condensate piping and insulation	3	Statewide Contingency Fund	\$3,801	
PCO 0087	HTW- provide additional interior finish work in the Emery Building	3	Statewide Contingency Fund	\$308	
PCO-0088	HTW- furnish and install owner requested steam bypass in the OSH Building	2	Project Funds	\$5,045	
PCO-0089	HTW- Furnish and install additional wye strainers in the Emery Building	6	Statewide Contingency Fund	\$8,193	
PCO 0090	University Substation- replace the existing	3	Statewide Contingency	\$204,203	

	7200 volt transformer. It was determined that the existing transformer was unusable		Fund		
TOTAL				\$260,080	

CATEGORY (REASON):

1. DFCM initiated Scope Change
2. Agency Requested Scope Change
3. Unforeseen Condition
4. Budget Expenditure (Award) in CM/GC
5. Design Error (including Scope Change due to deficiencies in Design Documents)
6. Design Omission (including Scope Change due to deficiencies in Design Documents)
7. Other: _____

By DFCM Project Manager:  Date: 4/22/14



State of Utah

Division of Facilities and Construction Management

Consulting Contract = 127609

Construction Contract Summary

127609 - University Of Utah electrical And High Temperature Water Ut

Project Title:	Univ Of Utah Electrical And High Temp Water Utilities Upgrades	Vendor #:	66309F
Project #:	<u>12042750</u>	Layton Construction Company	
Program Director:	Jim Russell (163400)	9090 S Sandy Pky	
Open PO's-Prj:		Sandy, Ut 84070-6409	
Contract Name:	University Of Utah Electrical And High Temperature Water Ut	Status:	Notice To Proceed
Contract Type:	Unclass Const	DO #:	12081666483

Component Group:	Addl Const Cost	Expense Budget:	6816
Component:	Additional Construction Costs(10)	Property #:	
Account:	3000-300-3336-FWA-12042750	Retainage #:	8694936

Funding Sources

Funding Source	Budget %	Appropriation	Allotment
EDFY2013	100.00	\$35,000,000.00	\$0.00
Funding Totals:	100.00	\$35,000,000.00	\$0.00

Payment Summary

Date	Invoice #	Status	Amount
8/16/12	12042750#1	Invoice Released	\$11,560.00
10/19/12	12042750#2	Invoice Released	\$35,684.15
1/2/13	12042750#4	Invoice Released	\$33,501.32
1/2/13	12042750#3	Invoice Released	\$17,412.65
1/3/13	12042750#5	Invoice Released	\$50,276.53
1/28/13	12042750#6	Invoice Released	\$750,924.99
2/21/13	12042750#7	Invoice Released	\$506,591.20
3/20/13	12042750#8	Invoice Released	\$1,360,437.76
4/12/13	12042750#9	Invoice Released	\$1,190,646.00
5/22/13	12042750#10	Invoice Released	\$1,496,731.07
6/18/13	12042750#11	Invoice Released	\$1,896,644.13
7/10/13	12042750#12	Invoice Released	\$3,549,508.63
8/27/13	12042750#13	Invoice Released	\$2,691,310.04
9/19/13	12042750#14	Invoice Released	\$2,178,573.48
10/25/13	12042750#15	Invoice Released	\$1,501,175.62
11/27/13	12042750#16	Invoice Released	\$1,661,941.45
12/18/13	12042750#17	Invoice Released	\$1,689,766.94
1/21/14	12042750#18	Invoice Released	\$902,469.06
2/24/14	12042750-19	Invoice Released	\$752,818.45
3/18/14	12042750#20	Invoice Released	\$1,039,546.38
4/17/14	12042750#21	Invoice Released	\$1,200,684.14

Change Order Summary

Awards

Award Date	Number	Amount
5/18/12	A001	\$25,000.00
Total Award:		\$ 25,000.00

Change Orders

Date	Number	Status	Amount
10/16/12	CO 001	Co Executed	\$41,744.00
10/23/12	CO 002	Co Executed	\$2,152,556.00
11/21/12	CO 003	Co Executed	\$398,514.00
11/21/12	CO 004	Co Executed	\$50,720.00
12/18/12	CO 005	Co Executed	\$5,711,894.00
2/25/13	CO 006	Co Executed	\$2,392,625.00
4/8/13	CO 007	Co Executed	\$11,483,005.00
6/13/13	CO 008	Co Executed	\$7,274.00
6/13/13	CO 009	Co Executed	\$11,308,125.00
8/26/13	CO 010	Co Executed	\$309,791.00
10/7/13	CO 011	Co Executed	\$21,077.00
11/4/13	CO 012	Co Executed	\$0.00
5/1/14	CO 013	Co Executed	\$260,080.00
Change Order Total:			\$34,137,405.00
Total Amendments (Less: Award Bid)			\$605,851.00



State of Utah

Division of Facilities and Construction Management

Consulting Contract = 127609

Construction Contract Summary

Date	Invoice #	Status	Amount
Total Payments:			\$ 24,518,203.99

Retainage Summary

Date	Invoice #	Status	Amount
10/19/12	127609#2	Invoice Released	\$1,304.85
1/2/13	127609#5	Invoice Released	\$2,134.72
1/2/13	127609#3	Invoice Released	\$782.35
1/2/13	127609#4	Invoice Released	\$1,763.23
1/28/13	127609#6	Invoice Released	\$26,081.89
2/21/13	127609#7	Invoice Released	\$26,662.69
3/20/13	127609#8	Invoice Released	\$30,535.80
4/12/13	127609#9	Invoice Released	\$34,491.00
5/22/13	127609#10	Invoice Released	\$53,122.72
6/18/13	127609#11	Invoice Released	\$99,823.38
7/10/13	127609#12	Invoice Released	\$186,816.24
8/27/13	127609#13	Invoice Released	\$180,231.81
9/19/13	127609#14	Invoice Released	\$76,138.37
10/25/13	127609#15	Invoice Released	\$79,009.24
11/27/13	127609#16	Invoice Released	\$87,470.61
12/18/13	127609#17	Invoice Released	\$88,935.14
1/21/14	127609#18	Invoice Released	\$47,498.30
2/19/14	127609#19	Invoice Released	\$39,622.10
3/18/14	127609#20	Invoice Released	\$54,712.90
Retainage Total:			\$1,117,137.34

Release Summary

Release Date	Release	Amount
4/17/14	Release # 1	\$ 45,160.80
	Release # 2	
	Release # 3	
	Release # 4	
	Release # 5	
Release Total:		\$ 45,160.80
Net Retainage:		\$ 1,071,976.54

Contract Summary

Adjusted Contract Value:	\$ 34,162,405.00
Paid to Contractor:	\$24,518,203.99
Retainage to Bank:	\$1,117,137.34
Total Paid:	\$25,635,341.33

Change Orders

Date	Number	Status	Amount
Pack Changes):			
Adjusted Contract Value:			\$34,162,405.00
Change Order % of Original:			136549.62%
Percentage of Contract Paid:			75.04%
Dates		Days	
From	To	Target	Lapsed
6/19/12	1/1/15	926	695
Adjusted	Substantial	Original	Days
1/1/15		1/1/14	561
Percentage of Time Lapsed:			75.05%

Reasons for Change Orders

Reason	Percent	Amount
Award Bid Pack	5534.62%	\$33,531,554.00
Scope - Dfcm	2.42%	\$14,632.00
Scope - Ag/inst	51.13%	\$309,791.00
Omiss - Dfcm Cn	1.35%	\$8,193.00
Unknown - Dfcm	4.36%	\$26,393.00
Unk Cond	40.74%	\$246,842.00
Total Changes (less Award Bid Packs):		\$34,137,405.00



State of Utah

Division of Facilities and Construction
Management

Consulting Contract = 127609

Construction Contract Summary

Contract Balance: \$8,527,063.67

Contractor Summary

Adjusted Contract Value:	\$ 34,162,405.00
Paid to Contractor:	\$24,518,203.99
Retainage Releases:	\$45,160.80
Total Paid to Contractor:	\$24,563,364.79
Contractor Balance:	\$9,599,040.21

State of Utah

Division of Facilities and Construction
Management

Contract Payment & Change Order Summary

Contract = 097183

097183 - Uu Ustar Neuroscience/biomedical Tech Research Bldg

Project Title:	Ustar Uu Neuroscience Research Center	Vendor #:	66309F
Project #:	<u>06291750</u>		Layton Construction Company
Program Director:	Dave Mckay (117038)		9090 S Sandy Pky
Open PO's-Prj:			Sandy, Ut 84070-6409
Contract Name:	Uu Ustar Neuroscience/biomedical Tech Research Bldg	Status:	ACTIVE
Contract Type:	Const New Space	DO #:	08110684035

Request #:	08363568	Expense Budget:	6811
Phase #:	001	Property #:	10797
Account #:	3000-300-3124-FVA-06291750	Retainage #:	8694260

Payment Summary

Payment Date	Invoice #	Amount
12/8/08	06291750#1	\$38,000.00
1/21/09	06291750#2	\$19,000.00
2/9/09	06291750#3	\$19,000.00
3/2/09	06291750#4	\$19,000.00
4/2/09	06291750#5	\$19,000.00
6/4/09	06291750#5R	\$90,531.94
7/21/09	06291750#6	\$1,348,433.06
8/5/09	06291750#7	\$1,328,559.37
8/25/09	06291750#8	\$1,909,652.84
10/5/09	06291750#9	\$2,130,164.19
10/29/09	06291750#10	\$1,974,986.82
12/9/09	06291750#11R	\$1,881,768.92
1/20/10	06291750#12R2	\$2,244,065.84
2/16/10	06291750#13R2	\$1,889,054.85
3/1/10	06291750#14R2	\$3,776,200.59
3/29/10	06291750#15R2	\$4,518,172.81
5/5/10	06291750#16R1	\$4,692,197.83
5/24/10	06291750#17R1	\$5,289,873.60
6/28/10	06291750#18	\$4,365,068.28
7/26/10	06291750#19R1	\$5,001,360.14
9/2/10	06291750#20R1	\$4,186,836.29
9/28/10	06291750#21	\$6,158,997.64
10/26/10	06291750#22R1	\$7,507,793.15
11/29/10	06291750#23R1	\$7,085,590.38
12/16/10	06291750#24	\$7,216,719.11
1/31/11	06291750#25R1	\$6,377,141.55
2/23/11	06291750#26R1	\$6,627,856.99
3/30/11	06291750#27R2	\$6,426,312.07

Change Order Summary

Awards		
Award Date	Number	Amount
9/30/08	A001	\$200,000.00
Total Award:		\$ 200,000.00

Change Orders		
Date	Number	Amount
4/17/09	AC01	\$274,316.00
5/11/09	AC02	\$4,610,000.00
7/7/09	AC03	\$14,172,288.00
1/11/10	AC06	\$21,263,123.00
1/11/10	AC08	\$1,507,642.00
4/21/10	AC12	\$5,224,199.00
6/23/10	AC14	\$9,140,375.00
8/10/10	AC17	\$60,409,047.00
10/18/10	AC20	\$1,393,887.00
4/14/11	AC27	\$2,908,312.00
4/17/09	C001	\$0.00
9/13/09	C004	\$151,931.00
10/19/09	C005	\$689,277.00
1/11/10	C007	\$259,065.00
2/2/10	C009	\$318,910.00
2/25/10	C010	\$1,106,875.00
4/21/10	C011	\$525,316.00
5/26/10	C013	\$88,252.00
6/28/10	C015	\$(44,099.00)
7/13/10	C016	\$2,040,147.00
7/29/10	C018	\$323,406.00
9/21/10	C019	\$617,028.00



State of Utah

Division of Facilities and Construction Management

Contract Payment & Change Order Summary

Contract = 097183

Payment Date	Invoice #	Amount
4/26/11	06291750#28R1	\$5,586,489.04
6/7/11	06291750#29	\$5,909,153.58
6/16/11	06291750#30	\$6,951,993.32
7/26/11	06291750#31R1	\$2,808,586.69
9/8/11	06291750#32	\$2,873,739.07
9/28/11	06291750#33	\$2,286,809.61
10/28/11	06291750#34	\$1,572,880.43
11/23/11	06291750#35	\$831,610.07
12/30/11	06291750#36	\$161,633.47
1/25/12	06291750#37	\$887,658.77
2/23/12	06291750#38	\$846,252.84
3/16/12	06291750#39	\$248,477.48
4/23/12	06291750#40	\$474,044.86
5/21/12	06291750#41R1	\$308,871.27
6/21/12	06291750#42	\$309,531.71
7/11/12	06291750#43	\$166,529.49
9/24/12	06291750#44	\$210,500.02
10/19/12	06291750#45	\$265,392.85
11/1/12	06291750#46	\$77,288.67
11/21/12	06291750#47	\$34,022.92
2/25/13	06291750#49	\$177,036.76
3/19/13	06291750#48	\$48,068.42
3/27/13	06291750#50	\$15,476.39
11/21/13	06291750#51	\$256,414.47
12/11/13	06291750#52R1	\$106,797.14
Total Payments:		\$ 127,556,597.60

Retainage Summary

Payment Date	Invoice #	Amount
12/8/08	097183#1	\$2,000.00
1/21/09	097183#2	\$1,000.00
2/9/09	097183#3	\$1,000.00
3/2/09	097183#4	\$1,000.00
4/2/09	097183#5	\$1,000.00
6/4/09	097183#5R	\$4,764.84
7/21/09	097183#6	\$70,970.16
8/5/09	097183#7	\$69,924.18
8/25/09	097183#8	\$100,508.04

Date	Number	Amount
1/11/11	C021	\$480,516.00
2/10/11	C021.	\$0.00
1/31/11	C022	\$172,641.00
1/31/11	C023	\$71,658.00
2/15/11	C024	\$484,704.00
4/14/11	C025	\$139,797.00
4/14/11	C026	\$42,077.00
4/14/11	C028	\$72,732.00
7/7/11	C029	\$181,189.00
7/7/11	C030	\$65,205.00
7/7/11	C031	\$5,044.00
8/10/11	C032	\$392,526.00
8/12/11	C033	\$131,483.00
8/12/11	C034	\$56,523.00
8/12/11	C035	\$186,345.00
8/24/11	C036	\$45,446.00
8/24/11	C037	\$35,781.00
9/9/11	C038	\$97,217.00
9/9/11	C039	\$96,796.00
9/9/11	C040	\$62,465.00
9/9/11	C041	\$28,526.00
9/9/11	C042	\$46,363.00
9/9/11	C043	\$19,640.00
9/9/11	C044	\$7,143.00
12/1/11	C045	\$730,568.00
12/1/11	C046	\$33,054.00
12/1/11	C047	\$363,563.00
12/1/11	C048	\$97,126.00
12/1/11	C049	\$87,285.00
12/1/11	C050	\$83,725.00
12/1/11	C051	\$86,008.00
12/15/11	C052	\$52,956.00
1/24/12	C053	\$0.00
1/24/12	C054	\$59,874.00
1/24/12	C055	\$63,667.00
1/24/12	C056	\$43,201.00



State of Utah

Division of Facilities and Construction Management

Contract Payment & Change Order Summary

Contract = 097183

Retainage Summary

Change Orders

Payment Date	Invoice #	Amount
10/5/09	097183#9	\$112,286.17
10/29/09	097183#10	\$103,774.41
12/9/09	097183#11	\$99,040.47
1/20/10	097183#12R2	\$118,108.72
2/16/10	097183#13R2	\$99,423.96
3/1/10	097183#14	\$198,747.39
3/29/10	097183#15	\$237,798.57
5/5/10	097183#16R1	\$246,957.80
5/24/10	097183#17R1	\$278,414.38
6/28/10	097183#18	\$229,740.44
7/26/10	097183#19R1	\$263,229.47
9/2/10	097183#20	\$220,359.81
9/28/10	097183#21	\$324,157.77
10/26/10	097183#22	\$395,147.02
11/29/10	097183#23	\$372,925.80
12/16/10	097183#24	\$379,827.33
1/31/11	097183#25	\$335,639.02
2/23/11	097183#26R1	\$348,834.58
3/30/11	097183#27R2	\$338,226.95
4/26/11	097183#28	\$346,657.31
6/7/11	097183#29	\$311,008.08
6/16/11	097183#30	\$307,832.66
8/11/11	097183#31	\$147,820.35
9/8/11	097183#32	\$150,815.74
9/28/11	097183#33	\$120,358.40
10/28/11	097183/34	\$66,715.41
11/23/11	097183#35	\$43,768.95
12/29/11	097183#36	\$24,574.80
1/25/12	097183#37	\$46,718.88
2/23/12	097183#38	\$44,539.62
3/16/12	097183#39	\$13,077.76
4/23/12	097183#40	\$24,949.73
5/21/12	097183#41	\$16,256.38
6/21/12	097183#42	\$16,291.14
7/11/12	097183#43	\$8,764.71
9/24/12	097183#44	\$11,078.95

Date	Number	Amount
1/24/12	C057	\$94,754.00
1/24/12	C058	\$33,649.00
1/24/12	C059	\$32,580.00
1/24/12	C060	\$38,504.00
1/24/12	C061	\$57,647.00
1/24/12	C062	\$0.00
1/27/12	C063	\$523,221.00
2/14/12	C064	\$42,271.00
3/19/12	C065	\$24,682.00
3/19/12	C066	\$80,920.00
4/4/12	C067	\$0.00
4/4/12	C068	\$35,036.00
4/4/12	C069	\$55,180.00
4/4/12	C070	\$28,464.00
5/14/12	C071	\$2,123.00
5/14/12	C072	\$139,636.00
6/18/12	C073	\$88,029.00
6/18/12	C074	\$52,969.00
6/18/12	C075	\$32,001.00
6/19/12	C076	\$90,896.00
6/19/12	C077	\$408,198.00
6/19/12	C078	\$68,623.00
9/5/12	C079	\$42,858.00
2/5/13	C087	\$31,064.00
2/5/13	C088	\$75,402.00
3/25/13	C089	\$12,456.00
11/18/13	C090	\$96,266.00
11/18/13	C091	\$91,957.00
12/10/13	C092	\$75,739.00
12/10/13	C093	\$43,574.00
3/31/14	C094	\$157,829.00
10/15/12	CO 080	\$36,742.00
10/15/12	CO 081	\$72,172.00
10/15/12	CO 082	\$63,130.00
10/15/12	CO 083	\$12,647.00
11/6/12	CO 084	\$40,553.00



State of Utah

Division of Facilities and Construction Management

Contract Payment & Change Order Summary

Contract = 097183

Retainage Summary

Payment Date	Invoice #	Amount
10/19/12	097183#45	\$13,968.04
11/1/12	097183#46	\$4,067.82
11/21/12	097183#47	\$1,790.68
2/25/13	097183#49	\$9,317.72
3/19/13	097183#48	\$2,529.92
3/27/13	097183#50	\$814.55
11/21/13	097183#51	\$13,495.50
12/11/13	097183#52	\$5,620.92
Retainage Total:		\$6,707,641.30

Release Summary

Release Date	Release	Amount
12/29/11	Release # 1	\$ 1,025,811.27
2/1/12	Release # 2	\$ 5,185,081.20
2/25/13	Release # 3	\$ 423,716.02
	Release # 4	
	Release # 5	
Release Total:		\$ 6,634,608.49
Net Retainage:		\$ 73,032.81

Contract Summary

Adjusted Contract Value:	\$ 134,657,233.00
Paid to Contractor:	\$127,556,597.60
Retainage to Bank:	\$6,707,641.30
Total Paid:	\$134,264,238.90
Contract Balance:	\$392,994.10

Contractor Summary

Adjusted Contract Value:	\$ 134,657,233.00
Paid to Contractor:	\$127,556,597.60
Retainage Releases:	\$6,634,608.49
Total Paid to Contractor:	\$134,191,206.09
Contractor Balance:	\$466,026.91

Change Orders

Date	Number	Amount
1/24/13	CO 085	\$40,267.00
1/24/13	CO 086	\$33,053.00
2/24/11	CO24	\$0.00
Change Order Total:		\$134,457,233.00
Total Change Orders Less: (AC) Changes:		\$13,554,044.00
Adjusted Contract Value:		\$134,657,233.00
Change Order % of Original:		67228.62%
Percentage of Contract Paid:		99.71%

Dates

From	To	Target	Lapsed
11/5/08	6/30/12	1333	1990
Adjusted	Substantial	Original	Days
6/30/12		7/29/11	996
Percentage of Time Lapsed:			149.29%

Reasons for Changes

Reason	Percent	Amount
Time Reduction	0.00%	\$0.00
Time Extension	0.00%	\$0.00
Scope - Dfcm	7.49%	\$1,014,994.00
Award Bid Pack	0.00%	\$0.00
Omissions	0.07%	\$9,888.00
Acct Recon	0.00%	\$0.00
Omiss - Dfcm Cn	15.48%	\$2,097,745.00
Scope - Ag/inst	48.79%	\$6,613,209.50
Unknown - Dfcm	19.44%	\$2,634,720.00
A/e Err - Dfcm	8.73%	\$1,183,487.50
Total Changes (less 'AC' Award Bid Packs):		\$13,554,044.00

State of Utah

Division of Facilities and Construction
Management

Consulting Contract = 147558

Construction Contract Summary

147558 - Wasatch Culinary Floor Replace wayne Smith jim Russell

Project Title:	Draper Prison Wasatch Bldg Kitchen Floor Replacement Ph. Ii	Vendor #:	VC0000117497
Project #:	<u>12176100</u>		Bradley Construction
Program Director:	Wayne Smith (117803)		117 North 1050 East
Open PO's-Prj:	\$5,000.00		Bountiful, Ut 84010
Contract Name:	Wasatch Culinary Floor Replace Wayne Smith Jim Russell	Status:	Notice To Proceed
Contract Type:	Const Remodel	DO #:	13110792547
<hr/>			
Component Group:	Construction	Expense Budget:	6400
Component:	Construction(8)	Property #:	
Account:	3000-300-3336-FXA-12176100	Retainage #:	8695128

Funding Sources

Funding Source	Budget %	Appropriation	Allotment
GFFY2013	100.00	\$590,000.00	\$0.00
Funding Totals:	100.00	\$590,000.00	\$0.00

Payment Summary

Date	Invoice #	Status	Amount
11/7/13	12176100#1	Invoice Released	\$119,700.00
12/13/13	12176100#2	Invoice Released	\$119,700.00
2/12/14	12176100#3	Invoice Released	\$80,750.00
3/25/14	12176100#4	Invoice Released	\$40,569.75
	Total Payments:		\$ 360,719.75

Retainage Summary

Date	Invoice #	Status	Amount
11/7/13	147558#1	Invoice Released	\$6,300.00
12/13/13	147558#2	Invoice Released	\$6,300.00
2/12/14	147558#3	Invoice Released	\$4,250.00
3/25/14	147558#4	Invoice Released	\$2,135.25
	Retainage Total:		\$18,985.25

Release Summary

Release Date	Release	Amount
	Release # 1	
	Release # 2	
	Release # 3	
	Release # 4	
	Release # 5	

Change Order Summary

Awards

Award Date	Number	Amount
9/9/13	A001	\$389,705.00
	Total Award:	\$ 389,705.00

Change Orders

Date	Number	Status	Amount
5/7/14	CO 001	Co Executed	\$57,305.40
	Change Order Total:		\$57,305.40
	Total Amendments (Less: Award Bid Pack Changes):		\$57,305.40
	Adjusted Contract Value:		\$447,010.40
	Change Order % of Original:		14.70%
	Percentage of Contract Paid:		84.94%

Dates

From	To	Target	Lapsed
9/18/13	3/13/14	176	239
Adjusted	Substantial	Original	Days
3/13/14		12/31/13	104
	Percentage of Time Lapsed:		135.80%



State of Utah

Division of Facilities and Construction Management

Consulting Contract = 147558

Construction Contract Summary

Release Summary

Release Date	Release	Amount
	Release Total:	\$ 0.00
	Net Retainage:	\$ 18,985.25

Reasons for Change Orders

Reason	Percent	Amount
Unknown - Dfcm	100.00%	\$57,305.40
Total Changes (less Award Bid Packs):		\$57,305.40

Contract Summary

Adjusted Contract Value:	\$ 447,010.40
Paid to Contractor:	\$360,719.75
Retainage to Bank:	\$18,985.25
Total Paid:	\$379,705.00
Contract Balance:	\$67,305.40

Contractor Summary

Adjusted Contract Value:	\$ 447,010.40
Paid to Contractor:	\$360,719.75
Retainage Releases:	\$.00
Total Paid to Contractor:	\$360,719.75
Contractor Balance:	\$86,290.65



CHANGE ORDER JUSTIFICATION STATEMENT (FOR INTERNAL USE ONLY)

To be submitted to DFCM Accounting at time the Project Manager has a Change Order executed by Contractor and the Project Manager.

CHANGE ORDER # 1

PROJECT NAME: DWS Admin Parking Structure Drain Replacement
 AGENCY: Dept. of Workforce Services
 CONTRACTOR: SR Mechanical, Inc.

PROJECT NUMBER: 13319920
 CONTRACT NUMBER: 147697
 DESIGNER:VBF

The attached documentation supports the list of items on the change order cover sheet. These items have been reviewed and negotiated or accepted to be a reasonable adjustment of the contract amount and time. The purpose of this document is to describe the DFCM asserted cause for the change order, describe each item, categorize the change, list the approved funding and the funding source.

In the space below, and on additional pages if required, explain why this change is necessary. Explain the reasons for all time delays, costs changes and new timeframes. If the reason is "other," provide explanation.

PCO/ CCD	Description	Category (reason)	Funding Source	Amount	Time
PCO 001	The existing drain lines had pipe insulation, as the team met and discussed scope of work. The team decided insulation was not needed. After the project move forward the question was asked "what if the outside air fans fall on". The answer changed the design back to including pipe insulation.	1	Project funds	\$15,034.00	No Time
PCO 002	The existing drain lines had heat trace, as the team met and discussed scope of work. The team decided heat trace was not needed. After the project move forward the question was asked "what if the outside air fans fall on". The answer changed the design back to including heat trace.	3	State wide contingency fund	\$25,776.00	No time
PCO 004	While work was underway contractor identified vertical drains that also were falling and needed replacing. Originally the team believed just the horizontal lines had failed.	1	State wide contingency fund	\$8,322.00	No time
Total				\$49,132.00	No time

CATEGORY (REASON):

1. DFCM initiated Scope Change
2. Agency Requested Scope Change
3. Unforeseen Condition
4. Budget Expenditure (Award) in CM/GC
5. Design Error (including Scope Change due to deficiencies in Design Documents)
6. Design Omission (including Scope Change due to deficiencies in Design Documents)
7. Other: _____

By DFCM Project Manager: *Morgan Rubie* Date: 04/21/2014

State of Utah

Division of Facilities and Construction
Management

Consulting Contract = 147697

Construction Contract Summary

147697 - Department Of Workforce Services dws/heber Wells Parking D

Project Title: Dws Admin Bldg Parking Structure Drain Line Replacement
Vendor #: 72920J

Project #: 13319920
Sr Mechanical

Program Director: Michael Ambre (125778)
Po Box 135

Open PO's-Prj: Salina, Ut 84654

Contract Name: Department Of Workforce Services | Dws/heber Wells Parking D
Status: Notice To Proceed

Contract Type: Const Remodel
DO #: 14031800113

Component Group: Construction
Expense Budget: 6400

Component: Construction(8)
Property #:

Account: 3000-300-3337-FXA-13319920
Retainage #:

Funding Sources

Funding Source	Budget %	Appropriation	Allotment
GFFY2014	100.00	\$101,000.00	\$0.00
Funding Totals:	100.00	\$101,000.00	\$0.00

Payment Summary

Date	Invoice #	Status	Amount
4/16/14	846636075	Invoice Released	\$48,591.07
Total Payments:			\$ 48,591.07

Retainage Summary

Date	Invoice #	Status	Amount
4/16/14	147697#1	Invoice Released	\$2,557.43
Retainage Total:			\$2,557.43

Release Summary

Release Date	Release	Amount
	Release # 1	
	Release # 2	
	Release # 3	
	Release # 4	
	Release # 5	
Release Total:		\$ 0.00
Net Retainage:		\$ 2,557.43

Contract Summary

Adjusted Contract Value:	\$ 121,387.00
Paid to Contractor:	\$48,591.07
Retainage to Bank:	\$2,557.43

Change Order Summary

Awards

Award Date	Number	Amount
1/31/14	A001	\$72,255.00
Total Award:		\$ 72,255.00

Change Orders

Date	Number	Status	Amount
5/9/14	CO 001	Co Executed	\$49,132.00
Change Order Total:			\$49,132.00
Total Amendments (Less: Award Bid Pack Changes):			\$49,132.00
Adjusted Contract Value:			\$121,387.00
Change Order % of Original:			68.00%
Percentage of Contract Paid:			42.14%

Dates

Dates		Days	
From	To	Target	Lapsed
2/14/14	5/2/14	77	90
Adjusted	Substantial	Original	Days
5/2/14		5/2/14	0
Percentage of Time Lapsed:			116.88%

Reasons for Change Orders



State of Utah

Division of Facilities and Construction
Management

Consulting Contract = 147697

Construction Contract Summary

Total Paid:	\$51,148.50
Contract Balance:	\$70,238.50
Contractor Summary	
Adjusted Contract Value:	\$ 121,387.00
Paid to Contractor:	\$48,591.07
Retainage Releases:	\$.00
Total Paid to Contractor:	\$48,591.07
Contractor Balance:	\$72,795.93

<u>Reason</u>	<u>Percent</u>	<u>Amount</u>
Unknown - Dfcm	52.46%	\$25,776.00
Scope - Dfcm	47.54%	\$23,356.00
Total Changes (less Award Bid Packs):		\$49,132.00

CHANGE ORDER JUSTIFICATION STATEMENT (FOR INTERNAL USE ONLY)

To be submitted to DFCM Accounting at time the Project Manager has a Change Order executed by Contractor and the Project Manager.

CHANGE ORDER #01

PROJECT NAME: Snow Cyn SP Waterline Replacement
 AGENCY: Parks & Recreation
 CONTRACTOR: John Orton Excavating

PROJECT NUMBER: 13100510
 CONTRACT NUMBER: 147656
 DESIGNER: Johansen & Tuttle Eng.

The attached documentation supports the list of items on the change order cover sheet. These items have been reviewed and negotiated or accepted to be a reasonable adjustment of the contract amount and time. The purpose of this document is to describe the DFCM asserted cause for the change order, describe each item, categorize the change, list the approved funding and the funding source.

In the space below, and on additional pages if required, explain why this change is necessary. Explain the reasons for all time delays, costs changes and new timeframes. If the reason is "other," provide explanation.

PCO/ CCD	Description	Category (reason)	Funding Source	Amount	Time
1	This change order covers 14 items as described in detail on proposal request #1 attached. 1. Added isolation of the new water tank in the event of future addition or repair – unforeseen condition. 2. Air releaf valves necessary due to pipe elevation changes due to rocky terrain – unforeseen condition 3. The existing shut-off valve on pipe supplying the Park HQ was too deteriorated too function properly-unforeseen condition. 4. New valves on lateral line requested by the agency 5. Piping necessary to isolate the pumphouse as requested by St. George City water engineer-unforeseen condition 6. Replacement of existing galvanized pipe at the request of the agency 7. See item #6-Replacement of existing galvanized pipe at the request of the agency 8. See item #5-If draining at the pumphouse becomes necessary landscape will be protected-unforeseen condition 9. See item #8 10. Supply line at Upper Galoot site could not be found, a new 2" line was requested by the agency 11. See item #10 12. Replacement of the existing deteriorated galv piping supplying Park HQ at agency request 13. See item 10-Tortise protection required in work area 14. Additional drain piping required at the new tank due to terrain conditions-unforeseen conditions	3 { 2 3	Project Account Agency Funded Project <i>Funding Request per phone call with Brent Lloyd 4/4/14</i> 	\$28,547.29	- 0 -
Total				\$28,547.29	- 0 -

CATEGORY (REASON):

1. DFCM initiated Scope Change
2. Agency Requested Scope Change
3. Unforeseen Condition
4. Budget Expenditure (Award) in CM/GC
5. Design Error (including Scope Change due to deficiencies in Design Documents)
6. Design Omission (including Scope Change due to deficiencies in Design Documents)
7. Other: _____

By DFCM Project Manager:  Date: 3/18/2014



State of Utah

Division of Facilities and Construction Management

Consulting Contract = 147656

Construction Contract Summary

147656 - Division Of Parks And Recreation snow Canyon State Park

W

Project Title:	Snow Canyon State Park Main Culinary Water Line	Vendor #:	110617A
Project #:	13100510	John Orton Excavating Inc	
Program Director:	Brent Lloyd (138690)	Po Box 1689	
Open PO's-Prj:		Cedar City, Ut 84721	
Contract Name:	Division Of Parks And Recreation snow Canyon State Park w	Status:	Notice To Proceed
Contract Type:	Const Remodel	DO #:	14010295622
Component Group:	Construction	Expense Budget:	6400
Component:	Construction(8)	Property #:	
Account:	3000-300-3337-FXA-13100510	Retainage #:	

Funding Sources

Funding Source	Budget %	Appropriation	Allotment
GFFY2014	100.00	\$334,000.00	\$0.00
Funding Totals:	100.00	\$334,000.00	\$0.00

Payment Summary

Date	Invoice #	Status	Amount
3/3/14	13100510#1	Invoice Released	\$80,308.63
3/4/14	13100510#2	Invoice Released	\$226,734.43
Total Payments:			\$ 307,043.06

Retainage Summary

Date	Invoice #	Status	Amount
3/3/14	147656#1	Invoice Released	\$4,226.77
3/4/14	147656#2	Invoice Released	\$11,933.39
Retainage Total:			\$16,160.16

Release Summary

Release Date	Release	Amount
	Release # 1	
	Release # 2	
	Release # 3	
	Release # 4	
	Release # 5	
Release Total:		\$ 0.00
Net Retainage:		\$ 16,160.16

Contract Summary

Change Order Summary

Awards

Award Date	Number	Amount
12/13/13	A001	\$351,768.88
Total Award:		\$ 351,768.88

Change Orders

Date	Number	Status	Amount
4/4/14	CO 001	Co Executed	\$28,547.29
Change Order Total:			\$28,547.29
Total Amendments (Less: Award Bid Pack Changes):			\$28,547.29
Adjusted Contract Value:			\$380,316.17
Change Order % of Original:			8.12%
Percentage of Contract Paid:			84.98%

Dates

From	To	Target	Lapsed
12/24/13	4/1/14	98	115
Adjusted	Substantial	Original	Days
4/1/14		4/1/14	0
Percentage of Time Lapsed:			117.35%



State of Utah

Division of Facilities and Construction
Management

Consulting Contract = 147656

Construction Contract Summary

Adjusted Contract Value:	\$ 380,316.17
Paid to Contractor:	\$307,043.06
Retainage to Bank:	\$16,160.16
Total Paid:	\$323,203.22
Contract Balance:	\$57,112.95

Contractor Summary

Adjusted Contract Value:	\$ 380,316.17
Paid to Contractor:	\$307,043.06
Retainage Releases:	\$.00
Total Paid to Contractor:	\$307,043.06
Contractor Balance:	\$73,273.11

Reasons for Change Orders

Reason	Percent	Amount
Scope - Ag/inst	20.72%	\$5,916.18
Unknown - Dfcm	79.28%	\$22,631.11
Total Changes (less Award Bid Packs):		\$28,547.29

DIVISION OF FACILITIES CONSTRUCTION AND MANAGEMENT PROFESSIONAL SERVICES AGREEMENT

THIS AGREEMENT, made this 13th day of December, 2013, by and between the DIVISION OF FACILITIES CONSTRUCTION AND MANAGEMENT, hereinafter called the "DFCM", and **GSBS ARCHITECTS** a corporation of the State of Utah, whose address is 375 West 200 South, Salt Lake City, Utah 84101, hereinafter called the "Consultant."

WITNESSETH: That whereas, the DFCM intends to have Consultant Services performed by Consultant as follows:

DIVISION OF FACILITIES CONSTRUCTION & MANAGEMENT
UTAH STATE SPACE STANDARDS
SALT LAKE CITY, UTAH

WITNESSETH, WHEREAS the DFCM intends to have Consultant fully complete the objectives of this Agreement, and

WHEREAS, the Consultant, for the sum herein stated, agrees to perform the Scope of Work of this Agreement,

THEREFORE, the DFCM and the Consultant, for the consideration hereinafter provided, agree as follows:

ARTICLE 1. EXTENT OF AGREEMENT AND SCOPE OF WORK. The Consultant's services shall include all work described in the Consultant's proposal dated November 18, 2013 which is attached hereto as Exhibit "A" and incorporated as part of this Agreement. In case of conflict, the following documents supersede each other in accordance with the following hierarchy: codes and applicable law, the body of this Agreement, attachments to this Agreement, and the following documents on file with DFCM and incorporated by reference as a part of this Agreement is fully set forth herein: the current DFCM Design Manual, which Design Manual is applicable to Architect/Engineer (A/E) programming and similar A/E consultation/studies that may be used later by an A/E in design work. Any reference in the DFCM Design Manual to A/E shall be deemed to refer to the Consultant under this Agreement.

ARTICLE 2. TIME FOR SERVICES. The Consultant shall complete the scope of work in a manner to achieve any milestones identified in the Solicitation for Consultant Services or the attachments to this Agreement. The full scope of work shall be completed by **March 31, 2014**.

ARTICLE 3. PAYMENT.

3.1 In accordance with the provisions and considerations set forth in this Agreement, the DFCM agrees to pay the Consultant a not-to-exceed sum of **NINETEEN THOUSAND TWO HUNDRED SEVENTY-FIVE DOLLARS (\$19,275)** for the full and complete services included under the terms of this Agreement at the rates specified. This sum may be changed only by written authorization from the DFCM in the form of a modification to this Agreement properly executed by the DFCM.

3.2 **Incidental Services/Reimbursements.** Consultant shall provide all services as established by standard professional custom and practice. The Consultant reimbursements for this project have been estimated as a NOT-TO-EXCEED part of the fee and are allowed on (with no mark-up) as follows:

1. Travel/Lodging/Meals: only for the members whose distance of travel from their office to the site is greater than 100 miles from the servicing office location:

DFCM

Division of Construction and Management
 4110 State Office Building Salt Lake City, UT 84144
 Telephone (801) 538-3018 Fax (801) 538-3267

REPORT OF PROJECT RESERVE FUNDS ACTIVITY

Jun-14

% of
 Constr.

PRJT. #	PROJECT TITLE	STATE FUNDS- DEVELOPMENT	STATE FUNDS- IMPROVEMENT	DOT FUNDS	DESCRIPTION	% of Constr. Budget
<u>BEGINNING BALANCE</u>		<u>6,202,539</u>	<u>6,921,075</u>	<u>968,481</u>		
<u>INCREASES TO PROJECT RESERVE FUND:</u>						
12191670	SLCC		60,202.00		Balance of Various Project Budgets	87%
12050030	ABC		42,138.00		Balance of Various Project Budgets	80%
12041810	WSU		38,144.08		Balance of Various Project Budgets	7%
12182200	ED		34,354.46		Balance of Various Project Budgets	23%
12070550	DPS		33,311.52		Balance of Various Project Budgets	30%
12158200	ED		20,266.20		Balance of Various Project Budgets	5%
12166810	WSU		19,761.00		To Close Project	92%
12083110	UDC		18,840.10		Balance of Const. Inspection & Insurance Budgets	4%
12187390	DAS		17,315.99		Balance of Various Project Budgets	43%
12077310	DAS		13,677.52		To Close Project	45%
13014470	UNG		10,453.54		Balance of Const. Inspection & Insurance Budgets	5%
12049010	AG		8,096.82		Balance of Design, Inspection & Insurance Budgets	4%
12097680	SLCC		6,759.00		To Close Project	30%
13001810	WSU		4,916.90		Balance of Design, Inspection & Insurance Budgets	1%
12145050	CPB		4,071.18		Balance of Const. Inspection & Insurance Budgets	3%
12196660	SLCC		641.41		Balance of Inspection & Insurance Budgets	1%
12195660	SLCC		626.76		Balance of Inspection & Insurance Budgets	1%
12095660	SLCC		415.76		To Close Project	1%
12053120	UDC		397.52		Balance of Inspection & Insurance Budgets	1%
12175080	DCED		252.50		Balance of Inspection & Insurance Budgets	0%
12081030	ABC		188.50		Balance of Inspection & Insurance Budgets	1%
12061220	DATC		0.07		To Close Project	0%
<u>DECREASES TO PROJECT RESERVE FUND:</u>						
10036660	SLCC	(400,000.00)			To Complete Project	1%
13079300	Reallocation		(310,000.00)		Reallocation Per April Board Meeting	
13169290	DXATC		(256,000.00)		To Award Construction Contract	57%
13080300	Reallocation		(200,000.00)		Reallocation Per April Board Meeting	
12185310	DFCM		(140,000.00)		To Complete Project	30%
<u>ENDING BALANCE</u>		<u>5,802,538.74</u>	<u>6,349,905.62</u>	<u>968,481.36</u>		



Division of Construction and Management
 4110 State Office Building Salt Lake City, UT 84144
 Telephone (801) 538-3018 Fax (801) 538-3267

REPORT OF PROJECT RESERVE FUNDS ACTIVITY

May-14

% of
 Constr.

PRJT. #	PROJECT TITLE	STATE FUNDS- DEVELOPMENT	STATE FUNDS- IMPROVEMENT	DOT FUNDS	DESCRIPTION	Budget
BEGINNING BALANCE		6,657,294	5,988,838	968,481		
INCREASES TO PROJECT RESERVE FUND:						
11318310	DEQ Technical Support Center Remodel		524,137.00		Balance of Various Project Budgets	45.05%
09163260	MATC Geneva Bldg Remodel		132,572.75		Balance of Design, Inspection & Insurance Budgets	10.93%
08085510	DNR Starvation SP Impdovements		101,174.65		Project Residual	5.40%
08194410	DHS USDC Boiler Replacement		74,338.99		Balance of Various Project Budgets	3.48%
09156050	CPB Capitol Hill Central Plant Chiller		54,361.02		Project Residual	14.50%
11170300	DFCM MASOB Property Purchase	45,245.11			To Close Project	8.11%
10221050	CPB SOB Window Curtain Wall		37,126.65		Balance of Const, Inspection & Insurance Budgets	0.74%
11068250	UBATC `Roosevelt Campus Generator		25,907.15		Balance of Various Project Budgets	15.97%
11051100	UDC Draper Timp Boiler		9,919.71		Balance of Design, Inspection & Insurance Budgets	2.56%
12193670	SLCC SCC Garbage Dumpster Containment		6,962.16		Balance of Const, Inspection & Insurance Budgets	20.67%
11053790	UVU Trades Building Elevator		5,916.20		Balance of Design, Inspection & Insurance Budgets	2.62%
12021470	UNG Tooele Armory Boiler		4,194.34		Balance of Various Project Budgets	8.76%
12009470	UNG HQ Boiler and Piping		3,844.60		Balance of Inspection & Insurance Budgets	0.98%
11324390	HEALTH Cannon Building Kitchen Cabinets		731.09		Balance of Const, Inspection & Insurance Budgets	1.19%
13307100	UDC Draper Fire Panels		329.00		Balance of Construction & Insurance Budgets	1.16%
DECREASES TO PROJECT RESERVE FUND:						
11194770	USU School Of Business Addition	(500,000.00)			To Award Construction Contract	1.49%
13244150	COURTS Matheson Bldg Fire Alarm		(37,846.00)		To Award Construction Contract	6.88%
13209310	DFCM Ogden Regional Center Restrooms ADA Modifications		(11,433.00)		To Award Construction Contract	3.85%
ENDING BALANCE		6,202,538.74	6,921,074.79	968,481.36		



Division of Construction and Management
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Jun-14

REPORT OF FISCAL YEAR PROJECT RESERVE FUNDS ACTIVITY

PROJECT TITLE	STATE FUNDS- DEVELOPME	STATE FUNDS- IMPROVEMENT	DOT FUNDS
<u>FY2014 BEGINNING BALANCE</u>	<u>2,888,451</u>	<u>3,515,185</u>	<u>968,481</u>
<u>INCREASES TO PROJECT RESERVE FUND:</u>			
ABC Total	-	47,789.77	-
AG Total	-	8,096.82	-
COURTS Total	-	212,666.72	-
CPB Total	-	95,558.85	-
DAS Total	-	30,993.51	-
DATC Total	-	2,303.85	-
DCC Total	-	14,090.00	-
DCED Total	-	252.50	-
DEQ Total	-	524,137.00	-
DFCM Total	45,245.11	212,019.73	-
DHS Total	359,000.00	303,118.20	-
Dixie Total	-	63,734.54	-
DNR Total	-	127,979.24	-
DPS Total	-	33,311.52	-
DWS Total	-	18,848.67	-
ED Total	-	54,620.66	-
FAIRPARK Total	-	41,521.07	-
HEALTH Total	-	34,356.64	-
MATC Total	-	132,572.75	-
SLCC Total	-	241,271.86	-
SNOW Total	-	28,722.83	-
SUU Total	-	40,317.36	-
TAX Total	-	82,577.93	-
UBATC Total	-	26,631.80	-
UDC Total	-	296,819.57	-
UDOT Total	-	1,042,795.00	-
UNG Total	-	18,492.48	-
UVU Total	5,883,607.79	88,884.53	-
WSU Total	-	99,531.37	-
<u>DECREASES TO PROJECT RESERVE FUND:</u>			
COURTS Total	(2,473,765.23)	(37,846.00)	-
DCC Total	-	(7,823.00)	-
DFCM Total	-	(156,622.00)	-
DHS Total	-	(22,377.00)	-
DNR Total	-	(19,947.00)	-
DWS Total	-	(90.00)	-
DXATC Total	-	(256,000.00)	-
Reallocation Total	-	(510,000.00)	-
SLCC Total	(400,000.00)	(22,158.00)	-
UDC Total	-	(52,310.00)	-
UDOT Total	-	(86.47)	-
USU Total	(500,000.00)	-	-
UVU Total	-	(4,037.00)	-
<u>ENDING BALANCE</u>	<u>5,802,538.74</u>	<u>6,349,905.62</u>	<u>968,481.36</u>

CONTINGENCY FUND ANALYSIS

May-14

AGENCY	DESCRIPTION	% COMPLETE	CONSTRUCTION BUDGET	AUTHORIZED CONTINGENCY AMOUNT	CONTINGENCY FUNDS NEEDED	PROJECTS STATUS
<u>NEW CONSTRUCTION</u>						
U OF U	Museum Of Natural History	98%	89,665,332	789,708	12,302	Construction
UOFU	David Eccles School Of Business	100%	61,057,496	816,110	3,233	Complete
USTAR	UU Neuroscience Research Center	94%	170,000,000	3,469,589	195,458	Construction
Dixie	Holland Centennial Commons	97%	37,061,171	1,345,210	38,361	Complete
SUU	Gibson Science Center Addition	100%	12,479,844	466,151	-	Complete
Courts	Ogden Land Purchase	21%	29,003,455	1,176,574	929,903	Construction
UVU	Health Science Building Addition	100%	40,756,038	1,766,825	4,307	Construction
SLCC	SCC Center For New Media Bldg	95%	45,521,542	917,841	43,204	Construction
SLCC	RRC New Instructional and Admin Complex	99%	31,161,671	1,110,367	13,534	Construction
Tooele	Applied Technology College Campus	100%	13,486,148	379,645	-	Complete
USH	Building Consolidation	90%	25,447,148	1,109,520	109,839	Construction
WSU	Professional Classrm Bld And Central Plant	87%	35,408,868	1,190,587	153,803	Construction
USU	Business Bldg Addition/Remodel	20%	38,769,684	577,054	464,136	Construction
U OF U	Electrical/High Temp Water Utilities Upgrades	70%	35,616,725	1,821,788	549,413	Construction
UVU	New Classroom Building	31%	41,729,617	2,182,997	1,496,441	Construction
SUBTOTAL		80%	707,164,739	19,119,966	4,013,935	
<u>REMODELING</u>						
DVA	Cemetary Master Plan	100%	3,688,198	13,244	-	Construction
DFCM	Heber Wells/DWS Admin Blds Widewalk Replace	100%	370,868	32,050	-	Complete
CPB	SOB North Window Improvements	100%	5,309,675	423,039	-	Complete
DCED	Rio Grande Boiler & Piping	100%	46,120	15,770	-	Complete
Freeport	Ctr Warehouse Multi-Agency Improvements	100%	5,749,945	299,693	470	Complete
DATC	Administrative Area Upgrade	100%	325,493	34,080	-	Construction
DATC	Electrical System Upgrade	86%	323,156	34,560	4,887	Construction

CONTINGENCY FUND ANALYSIS

May-14

AGENCY	DESCRIPTION	% COMPLETE	CONSTRUCTION BUDGET	AUTHORIZED CONTINGENCY AMOUNT	CONTINGENCY FUNDS NEEDED	PROJECTS STATUS
ABC Stores	Cabinets And Counter Tops Replaced	100%	26,591	3,040	-	Construction
Fairpark	Maint. Bldg Door Security Upgrades	0%	22,302	2,800	2,800	Construction
DWS Metro	Office Replace Rooftop HVAC Units	96%	226,883	22,256	809	Complete
WSU	Replace Domestic Hot Water Tanks And Heat Exch:	100%	481,789	27,008	-	Complete
Farmington Courts	Facility ADA Courtroom And Exterior Entrance Imprc	94%	323,937	14,406	863	Complete
SOB	Das Security Upgrades Phase 11	93%	292,373	14,400	1,039	Construction
SUU	Exterior Path of Travel Study	92%	282,276	12,825	1,084	Construction
DEQ	Technical Support Center Remodel	100%	24,889	38,918	-	Complete
WSU	Steam Tunnel Distribution System Phase II Repairs	100%	419,791	33,108	-	Complete
UVU	Chiller Replacement	100%	424,317	43,313	-	Complete
WSU	Event Center Parking Improvements Phase III	100%	577,693	49,470	-	Complete
ABC	Store #35 Entry Vestibule Addition	0%	78,200	5,235	5,235	Construction
Corrections	USP "A" Gate Fire Hydrant	100%	24,579	12,617	-	Complete
Corrections	AP&P Waste & Water Repairs	66%	51,479	13,880	4,724	Construction
Health	Cannon Bldg Restroom Tile Repairs	0%	49,893	55,200	55,200	Construction
Health	Children's Clinic Exam Rooms Remodel	100%	93,883	11,200	-	Construction
Corrections	CUCF Admin Intercom Upgrade	87%	93,722	11,841	1,497	Construction
Corrections	CUCF Warehouse Cold Storage Upgrade	0%	35,342	17,630	17,630	Construction
SLCC	RRC ATC Restroom Remodel	100%	299,764	27,250	-	Complete
SUU	Harris Center Safety Improvements	100%	370,511	35,038	147	Construction
SUU	Centrum Chiller/Cooling Tower Replacement	86%	636,303	61,434	8,586	Construction
Courts	Richfield Fire Panel Separation	100%	186,770	18,547	-	Complete
DHS	Cedar City Basement Remodel	111%	168,835	16,855	(1,797)	Complete
UVU	Campus Fire Alarm System Improvements	100%	1,996,955	150,894	-	Complete
CPB	Capitol Hill Signage Improvements	0%	42,400	4,375	4,375	On Hold
WSU	Dee Ctr Boiler & Controls Replacement	100%	272,856	20,000	-	Complete
DNR	Admin Bldg Sidewalk Repair	52%	35,789	1,626	777	Complete
WSU	Replace Campus Sidewalks & Handrails	100%	289,846	20,000	-	Complete
OWATC	Culinary Arts Dock Improvements	99%	514,116	39,030	497	Complete
Corrections	USP Wasatch Kitchen Floor Replacement	86%	389,705	46,055	6,229	Construction

CONTINGENCY FUND ANALYSIS

May-14

AGENCY	DESCRIPTION	% COMPLETE	CONSTRUCTION BUDGET	AUTHORIZED CONTINGENCY AMOUNT	CONTINGENCY FUNDS NEEDED	PROJECTS STATUS
Courts	Matheson Security Upgrades	81%	78,142	6,000	1,168	Construction
Courts	Ogden Security Upgrades	100%	14,314	6,000	-	Complete
Courts	Tooele Security Upgrades	100%	181,138	15,447	7	Complete
Courts	West Jordan HVAC Controls/Security Area Heating	92%	47,250	4,000	315	Construction
DATC	Boiler Replacement	100%	143,779	12,485	-	Complete
DFCM	Gov Mansion West Entrance Seismic Improv	33%	288,637	26,694	17,912	Construction
Health	Upgrade Corridor Fire Doors	33%	244,951	20,000	13,354	Construction
DHS	JJS Southwest Youth Center Remodel	52%	1,196,771	99,022	47,894	Construction
SLCC	SCC Garbage Dumpster Containment	100%	24,975	3,200	-	Complete
SLCC	Miller Exterior Handrail Replacement	100%	89,875	7,721	-	Complete
Courts	Matheson Front Counter Remodel	0%	157,474	14,960	14,960	Design
State Hospital	Slate Canyon Spring Development	100%	216,658	54,996	-	On Hold
USDC	Evergreen Bldg HVAC Replacement	0%	721,891	84,792	84,792	Design
UNG	West Jordan Armory Kitchen Remodel	34%	341,431	45,821	30,092	Construction
UDOT	New Salina Maint Station	4%	2,209,905	78,179	75,345	Construction
WSU	Steam Tunnel Repairs Phase III	100%	496,129	39,030	-	Complete
WSU	Dee Event Center Site Improvements	100%	858,628	49,471	-	Complete
UVU	Sparks Automotive Bldg HVAC Improvements	100%	186,077	12,004	-	Construction
UBATC	Fire Sprinkler Head Replacement	100%	21,480	4,992	-	Complete
UBATC	Dust Collection And Exhaust System	0%	114,000	7,980	7,980	Design
UBATC	ADA Interior Door Replacement	0%	36,802	7,806	7,806	Construction
DHS	Vernal Rooftop Unit Replacement	0%	168,780	21,537	21,537	Construction
DHS	Vernal Restroom Upgrades	0%	125,297	8,700	8,700	Construction
UVU	Business Bldg Transformers Replacement	38%	168,190	16,596	10,330	Construction
CPB	Capitol Hill Replace Pillow Block Bearings	100%	74,995	2,656	-	Complete
CPB	Travel Council Restroom Addition	100%	36,088	2,212	-	Complete
CPB	DUP Compressor/Water Cooled Condensor	0%	92,586	8,849	8,849	Design
DCC	Governor's Mansion Chiller Upgrade	100%	173,979	18,081	-	Complete
DCC	Glendinning Refinish & Hardwood Flooring	100%	39,982	3,360	-	Complete
DHS	USH Laundry/Recreation Storage Building	0%	512,559	31,750	31,750	Construction

CONTINGENCY FUND ANALYSIS

May-14

AGENCY	DESCRIPTION	% COMPLETE	CONSTRUCTION BUDGET	AUTHORIZED CONTINGENCY AMOUNT	CONTINGENCY FUNDS NEEDED	PROJECTS STATUS
UDOT	Region 3 Fire System Improvements	0%	42,121	3,983	3,983	Complete
HEALTH	Med Exam Water Heater Replacement	100%	36,574	3,925	-	Complete
SLCC	RRC Science Bldg Window Replacement	0%	454,568	9,600	9,600	Construction
SLCC	SCC Restroom Remodel/Water Line	0%	458,875	65,804	65,804	Construction
DFCM	Heber Wells Exhaust Fan Controls Upgrade	0%	49,924	4,789	4,789	Complete
DFCM	Provo Regional Boiler Replacement	100%	187,196	18,956	-	Construction
Fairpark	IT Communications Upgrade	0%	40,421	3,840	3,840	Construction
Fairpark	Various Bldgs Fire Alarm Upgrade	0%	90,105	8,561	8,561	On Hold
Fairpark	Pioneer Bldg HVAC Upgrades	80%	18,067	8,800	1,760	Construction
Parks	Rockport Culinary Water Line	0%	61,600	24,885	24,885	Construction
Parks	Snow Canyon Culinary Water Line	85%	380,316	26,072	3,915	Complete
Parks	Goblin Valley Main Water Tank	0%	78,000	8,960	8,960	Construction
BATC	Generator	60%	604,872	54,078	21,782	Construction
Snow	Irrigation Control System	51%	123,169	11,392	5,553	Complete
SUU	Sharwin Smith Center Moisture Mitigation	0%	125,998	11,970	11,970	Construction
SUU	Centrum Ramp Replacement	0%	139,850	15,250	15,250	Construction
UDC	CUCF Sprinkler System Repairs	0%	79,350	7,170	7,170	Construction
UDOT	Rampton Elevators	0%	498,155	117,593	117,593	Construction
Wildlife	Egan Hatchery Painting	100%	29,925	2,370	-	Complete
WSU	Pay Lot Asphalt Overlay	98%	92,417	9,096	209	Complete
WSU	Dee Ctr Concret/Stairs Replacement	100%	293,403	23,418	-	Complete
Agriculture	Spry Bldg Door Hardware	0%	87,510	9,680	9,680	Construction
Agriculture	Spry Bldg Patio Replacement	100%	53,622	6,320	-	Complete
USDB	Blind/Visually Impaired Housing Security	0%	29,345	2,788	2,788	Complete
USDB	Blind Housing Bollards Along Walkway	100%	23,745	2,359	-	Complete
UDOT	Relocate Rampton Switchgear	0%	75,935	4,000	4,000	Construction
UDOT	Rampton Lighting Retrofit	100%	154,727	15,812	-	Complete
WSU	High Voltage Substation & Switching	0%	468,594	43,323	43,323	Construction
WSU	South Science Lab Irrigation	0%	227,494	20,000	20,000	Construction
Wildlife	Salt Creek Wash Pad/Paving	100%	91,087	9,248	-	Complete

CONTINGENCY FUND ANALYSIS

May-14

AGENCY	DESCRIPTION	% COMPLETE	CONSTRUCTION BUDGET	AUTHORIZED CONTINGENCY AMOUNT	CONTINGENCY FUNDS NEEDED	PROJECTS STATUS
DABC	Store #19 Fire Alarm	0%	42,105	4,000	4,000	Complete
Courts	Layton Fire Alarm/HVAC Improvements	25%	142,412	11,343	8,493	Construction
Courts	Ogden HVAC In Jury Rooms	0%	34,557	2,246	2,246	Design
Courts	Ogden Juvenile Lighting Upgrade	0%	47,632	2,962	2,962	Design
DFCM	Academy Square Shrub Beds/Weed Barriers	0%	28,888	1,440	1,440	Design
DWS	Clearfield Carpet Replacement	97%	64,795	4,212	107	Complete
UDC	Bonneville AP&P Restroom/Water Heaters	60%	197,384	15,920	6,321	Construction
UDC	CUCF Henry Camera Upgrade	95%	166,858	16,207	748	Complete
UDC	CUCF Perimeter Fence Modifications	44%	155,104	14,877	8,326	Complete
Courts	Spanish Fork Front Counter Remodel	0%	27,008	4,000	4,000	Construction
DFCM	Provo Regional Lighting Upgrade	100%	188,613	25,025	-	Construction
SUU	Medium Voltage Cabling Replacement	65%	214,000	18,382	6,371	Construction
SUU	Campus Fire Alarm Separation	0%	141,940	12,343	12,343	Construction
UVU	Walkway Lighting Repairs	42%	93,750	9,957	5,799	Construction
SNOW	Humanities Bldg Chiller Replacement	0%	454,500	35,508	35,508	Construction
Snow	Washburn Bldg Replace Air Handler	0%	210,640	13,370	13,370	Construction
SNOW	Richfield Parking Lot Lighting	18%	20,120	10,355	8,464	Construction
DXATC	Terminal Remodel	6%	628,000	34,978	32,787	Construction
UDOT	Rampton MTF Bldg Fire Sprinkler Heads	0%	35,146	3,340	3,340	Construction
Courts	Tooele Front Counter	0%	24,687	9,520	9,520	Construction
DNR	Admin Rail and Door Access To Tower	100%	46,636	9,580	-	Complete
DWS	Midvale Lighting Retrofit	0%	48,203	4,240	4,240	Construction
DOH	CHC Carpet Replacement	0%	177,878	16,898	16,898	Construction
DABC	Store #10 Cardboard Bailer	0%	10,106	960	960	Construction
DABC	Misc Stores Security Upgrades	99%	200,000	19,000	190	Construction
DPS	West Valley Test Range Paving	100%	104,069	-	-	Complete
OWATC	Various Bldgs HVAC Controls	71%	261,300	34,076	9,888	Construction
Courts	Brigham City HVAC Head End/Boiler	51%	139,283	6,393	3,155	Construction
COURTS	West Jordan DVR Replacement	97%	218,273	19,200	603	Complete
Courts	Farmington Security System	0%	107,991	7,020	7,020	Design

CONTINGENCY FUND ANALYSIS

May-14

AGENCY	DESCRIPTION	% COMPLETE	CONSTRUCTION BUDGET	AUTHORIZED CONTINGENCY AMOUNT	CONTINGENCY FUNDS NEEDED	PROJECTS STATUS
Courts	Farmington Computer Room AC Controls	0%	21,598	1,404	1,404	Design
Courts	Farmington Carpet Replacement	0%	69,897	6,637	6,637	Construction
DATC	Air Handling Units Phase I	55%	277,321	30,833	13,808	Construction
DFCM	Brigham Regional RTU	0%	208,842	1,040	1,040	Design
DFCM	Brigham Regional Fire Alarm System	0%	286,920	26,540	26,540	Construction
DFCM	Ogden Regional Fire Suppression Tank	0%	71,579	6,800	6,800	Construction
DFCM	Ogden Regional Restroom ADA Modifications	42%	262,066	23,184	13,434	Construction
DPS	Farmington Emergency Generator	60%	44,815	6,080	2,417	Construction
Parks	Willard Bay North Marina Electric Line	0%	588,146	37,078	37,078	Design
DIXIE	North Bldg Structural Study	0%	15,000	-	-	Construction
DIXIE	Encampment Mall Sidewalk & Lighting	0%	129,860	11,970	11,970	Construction
DIXIE	Campus Fire Alarm & Control Front End	0%	231,350	21,978	21,978	Design
DIXIE	New Boiler	0%	673,363	57,240	57,240	Construction
SLCC	RRC Boiler #1 Replacement	0%	285,438	26,403	26,403	Construction
SLCC	RRC Technology Bldg VAV Controls	0%	442,933	41,664	41,664	Design
SLCC	RRC Science Bldg Install VFD	100%	15,945	1,325	-	Complete
Courts	Provo Juvenile Landscaping	0%	172,269	16,366	16,366	Design
Courts	Matheson Fire Alarm	100%	580,602	42,842	-	Complete
Courts	Matheson Replace Hot Water System	83%	87,507	11,310	1,892	Construction
Courts	Matheson Roll Top Doors Controls	0%	100,840	9,580	9,580	Design
Courts	Matheson Remodel 3rd floor Reception	19%	116,771	4,790	3,861	Construction
Courts	Orem Juvenile HVAC Controls	0%	28,000	3,975	3,975	Design
Courts	Richfield Carpet Replacement	63%	36,117	3,431	1,270	Design
Courts	Price Clerical Work Area Remodel	0%	50,849	5,575	5,575	Construction
Courts	Cedar City Remodel/Woodwork Refinishing	0%	84,210	8,000	8,000	Design
Courts	Provo Boilers Replacement	0%	73,946	7,029	7,029	Design
SLCC	RRC Various Bldgs Fire Alarm Upgrade	0%	132,125	12,943	12,943	Construction
SUU	Conference Center ADA Parking Lot Replace	0%	65,000	5,156	5,156	Construction
ABC	Store #34 HVAC System	0%	61,053	5,800	5,800	Design
CPB	Capitol Hill Security Camera Upgrades	0%	378,482	34,508	34,508	Pending

CONTINGENCY FUND ANALYSIS

May-14

AGENCY	DESCRIPTION	% COMPLETE	CONSTRUCTION BUDGET	AUTHORIZED CONTINGENCY AMOUNT	CONTINGENCY FUNDS NEEDED	PROJECTS STATUS
UDC	Draper - Timpanogos #5 Water Heater Replacemen	2%	202,186	20,517	20,011	Construction
UDC	Draper - Olympus HVAC Upgrade	0%	715,460	31,106	31,106	Design
UDC	Draper Wardens Admin Bldg Boiler	88%	101,650	6,800	794	Construction
UDC	Draper - Wasatch & Oquirrh Control Room Intercom	0%	208,040	19,717	19,717	Design
UDC	Draper - Timp 1-5 Control Room Remodel	0%	210,527	20,000	20,000	Design
UDC	Draper Fire Panel Upgrade In 3 Bldgs	100%	28,110	2,535	-	Complete
UDC	APP/CCC Floor Grind & Seal	0%	83,380	7,908	7,908	On Hold
UDOT	Rampton VAV boxes/Controls	0%	559,584	50,654	50,654	Design
DFCM	Richfield Regional Carpet/Paint	0%	230,248	21,875	21,875	Design
DHS	JJS - Vernal Furnace/Condensing Unit Replacemen	0%	25,263	2,400	2,400	Design
DNR	Admin Boiler Replacement	0%	172,823	13,887	13,887	Construction
Tax	Replace AHU's With Fan Walls	0%	373,396	45,393	45,393	Construction
DPS	Murray Fire Alarm Improvements	100%	22,144	2,482	-	Complete
DWS	Admin Parking Structure Drain Line	0%	72,255	7,575	7,575	Construction
DWS	Admin Fire Alarm System	0%	147,000	24,116	24,116	Construction
DHS	Various Group Home Repairs	0%	140,631	13,360	13,360	Construction
ABC	Store @14 Wiring/Loading Dock	65%	9,264	880	312	Construction
ABC	Store #22 & 23 Store Front Replacement	0%	20,211	1,920	1,920	Pending
UNG	Vernal Armory Upgrades	0%	190,403	18,088	18,088	Design
UNG	Blanding Armory Generator	0%	215,734	19,994	19,994	Design
UNG	Tooele Armory Roll-Up Door	0%	197,753	18,787	18,787	Construction
UNG	Tooele Armory Cooler Replacement	0%	44,862	2,177	2,177	Construction
SUBTOTAL		44%	52,502,618	4,142,074	1,826,800	

PROJECTED CONTINGENCY FUND NEEDS 5,840,735

CONTINGENCY RESERVE FUND BALANCE 5,961,988

PROJECTED EXCESS IN CONTINGENCY RESERVE FUND 121,253



State of Utah

Division of Facilities and Construction
Management

Fund Type = IMPROV EMERGENCY; From Date = 02/13/2014

Statewide Emergency Fund

<----- Encumbrance ----->

Agency	Project	Project Description	Budget	Prior	Current	Total
Fairpark	<u>13353370</u>	State Fairpark Barns Life Safety Structural Upgrades - Emergency Funds----see 13355370	\$100,000.00	\$0.00	\$0.00	\$0.00
Fairpark	<u>13354370</u>	State Fairpark Barns Life Safety Structural Upgrades - Emergency Funds	\$100,000.00	\$0.00	\$0.00	\$0.00
Fairpark	<u>13363370</u>		\$32,000.00	\$0.00	\$0.00	\$0.00
Alcoholic Beverage Contrl	<u>14006030</u>	Sandy Abc Store #19 Rtu Head Exchangers Emergency Replacement	\$30,000.00	\$0.00	\$0.00	\$0.00
Corrections - Draper	<u>14021100</u>	Draper Prison Substation Emergency Repairs	\$80,000.00	\$0.00	\$78,740.00	\$78,740.00
Corrections - Draper	<u>14022100</u>	Draper Prison Lone Peak South Dryer Room Emergency Repairs	\$0.00	\$0.00	\$0.00	\$0.00
Capitol Preservation Bd	<u>14127050</u>	Capitol Hill Parking Structure Repairs	\$250,000.00	\$0.00	\$0.00	\$0.00
State Hospital	<u>14136420</u>	State Hospital Central Boiler Plant Condensate Tank & Pumps Emergency Replacement	\$168,491.00	\$0.00	\$0.00	\$0.00
Average = \$95,061.38		8 Projects	\$760,491.00	\$0.00	\$78,740.00	\$78,740.00
Statewide Emergency Fund			Unencumbered Balance for Fund - 12200300		\$1,802,797.40	



State of Utah

Division of Facilities and Construction
Management

Fund Type = IMPROV HAZARDOUS; From Date = 02/13/2014

Statewide Hazardous Materials Projects

							<----- Encumbrance ----->
Agency	Project	Project Description	Budget	Prior	Current	Total	
Dfcm - Statewide Funds	<u>13079300</u>	Fy'14 Hazardous Materials Surveys, Etc.	\$150,000.00	\$282,810.77	\$99,325.53	\$382,136.30	
Capitol Preservation Bd	<u>14056050</u>	Dup Museum Asbestos Abatement	\$29,688.00	\$0.00	\$0.00	\$0.00	
Agriculture	<u>14057010</u>	Ogden Agriculture Grain Lab Office Asbestos Abatement	\$60,000.00	\$0.00	\$0.00	\$0.00	
Developmental Center	<u>14098410</u>	Usdc Asbestos Abatement In The Pineridge, Auditorium, Medical, Qualirun, Laundry, Old Admin, And Heather Buildings	\$200,000.00	\$0.00	\$0.00	\$0.00	
Average = \$109,922.00 4 Projects			\$439,688.00	\$282,810.77	\$99,325.53	\$382,136.30	
Statewide Hazardous Materials Projects				Unencumbered Balance for Fund - 13080300		\$46,324.00	



State of Utah

Division of Facilities and Construction
Management

Statewide Land Options and Acquisition Fund

Fund Type = IMPROV LND OPTION; From Date = 02/13/2014

							<----- Encumbrance ----->
Agency	Project	Project Description	Budget	Prior	Current	Total	
Average =	0	Projects					
Statewide Land Options And Acquisition Fund			Unencumbered Balance for Fund - 12240300			\$904,108.59	



State of Utah

Division of Facilities and Construction
Management

Fund Type = IMPROV PAVING; From Date = 02/13/2014

Statewide Paving Projects

<----- Encumbrance ----->

Agency	Project	Project Description	Budget	Prior	Current	Total
University Of Utah	<u>10204750</u>	Uu Delegated Unallocated Paving Funds	\$120,872.00	\$66,847.66	\$0.00	\$66,847.66
Dfcm - Statewide Funds	<u>12107300</u>	Fy'13, Fy'14 And Fy'15 Paving Preventative Maintenance Funds	\$444,674.99	\$361,735.90	-\$19,800.00	\$341,935.90
Dfcm - Statewide Funds	<u>12108300</u>	Fy'13, Fy'14, And Fy'15 Uci Paving Repairs	\$626,152.91	\$782,785.29	-\$12,017.28	\$770,768.01
University Of Utah	<u>12260750</u>	Univ Of Utah 1900 East To Nursing Bldg Paving Improvements - Delegated	\$170,000.00	\$3,400.00	\$0.00	\$3,400.00
University Of Utah	<u>12261750</u>	Univ Of Utah Various Paving Repairs On Campus - Delegated	\$50,000.00	\$10,000.00	\$0.00	\$10,000.00
National Guard	<u>13013470</u>	Draper Nat Guard Headquarters Bldg Seal And Restripe Parking Lot	\$150,000.00	\$46,355.24	\$4,000.00	\$50,355.24
Dept Of Transportation	<u>13125900</u>	Rampton Dot Complex Paving Improvements Phase Iii	\$283,000.00	\$0.00	\$0.00	\$0.00
Utah Valley University	<u>13150790</u>	Uvu Fy'14 Parking Lot Repairs	\$775,000.00	\$50,350.00	\$0.00	\$50,350.00
Snow College	<u>13168700</u>	Snow College Lucy Phillips Parking Lot Reconstruction	\$225,000.00	\$0.00	\$0.00	\$0.00
Corrections - Cucf	<u>13170110</u>	Cucf Ashpalt Improvements And Entrance Road Paving Upgrades	\$334,000.00	\$0.00	\$0.00	\$0.00
Corrections - Cucf	<u>13171110</u>	Cucf Entrance Road Paving Upgrade - Combined With 13170110	\$0.00	\$0.00	\$0.00	\$0.00
Developmental Center	<u>13172410</u>	Usdc Roadway Repairs For New Steam Piping	\$166,000.00	\$32,883.00	\$0.00	\$32,883.00
State Hospital	<u>13173420</u>	State Hospital Paving Improvements Ph. Iii	\$185,000.00	\$8,925.00	\$6,800.00	\$15,725.00
National Guard	<u>13174470</u>	Price National Guard Armory Paving And Grading	\$40,000.00	\$0.00	\$0.00	\$0.00
Dnr - Parks & Recreation	<u>13176510</u>	Fremont Indian State Park Asphalt Repairs	\$125,000.00	\$0.00	\$0.00	\$0.00
Dnr - Parks & Recreation	<u>13177510</u>	Frontier Homestead State Park Asphalt Repairs	\$114,000.00	\$0.00	\$0.00	\$0.00
Public Safety	<u>13179550</u>	Evo Training Track Entrance Road & Drive Pavement Overlay	\$102,000.00	\$7,192.00	\$0.00	\$7,192.00
Schools For Deaf & Blind	<u>13200230</u>	Ogden School For The Deaf And Blind Parking Lot Repairs	\$172,000.00	\$104,021.27	\$3,114.53	\$107,135.80
Public Safety	<u>13210550</u>	Farmington Driver's License/utah Highway Patrol Bldg Parking Lot Improvements	\$95,000.00	\$6,700.00	\$0.00	\$6,700.00
Ogden/weber Atc	<u>13212240</u>	Ogden/weber Atc Parking Lot Repairs	\$218,000.00	\$11,962.50	\$0.00	\$11,962.50
Dixie St College Of Utah	<u>13233640</u>	Dixie State College Paving Improvements - Delegated	\$110,000.00	\$0.00	\$0.00	\$0.00
Utah State University	<u>13295770</u>	Usu Campus Parking Lot Paving Improvements - Delegated	\$725,000.00	\$0.00	\$0.00	\$0.00
National Guard	<u>13356470</u>	Camp Williams Bldgs 15170 And 9000 Paving Improvements, And West Jordan Armory Parking Lot Reconstruction	\$728,000.00	\$0.00	\$5,614.00	\$5,614.00
National Guard	<u>13365470</u>	Orem Nat Guard Armory Parking Lot Paving/oil Water Separator	\$81,500.00	\$3,780.00	\$0.00	\$3,780.00



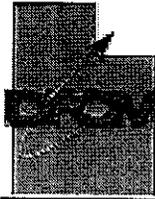
State of Utah

Division of Facilities and Construction
Management

Statewide Paving Projects

Fund Type = IMPROV PAVING; From Date = 02/13/2014

Agency	Project	Project Description	Budget	Encumbrance		
				Prior	Current	Total
National Guard	<u>14019470</u>	Brigham City Armory Paving And General Building Repairs	\$218,000.00	\$0.00	\$0.00	\$0.00
Weber State University	<u>14082810</u>	Wsu Parking Lots D2, A10, W8, And S1 Repairs	\$700,000.00	\$0.00	\$0.00	\$0.00
Average = \$267,623.07		26 Projects	\$6,958,199.90	\$1,496,937.86	-\$12,288.75	\$1,484,649.11
Statewide Paving Projects			Unencumbered Balance for Fund - <u>11284300</u>		\$1,503,051.93	



State of Utah

Division of Facilities and Construction Management

Fund Type = IMPROV ROOFING; From Date = 02/13/2014

Statewide Roofing Projects

						<----- Encumbrance ----->
Agency	Project	Project Description	Budget	Prior	Current	Total
Fairpark	<u>12116370</u>	Fairpark Pioneer Building Reroof	\$150,000.00	\$15,844.76	\$77,000.00	\$92,844.76
State Hospital	<u>12119420</u>	State Hospital Rampton Cafeteria Bldg Reroof	\$0.00	\$0.00	\$0.00	\$0.00
Dfcm - Statewide Funds	<u>12122300</u>	Fy'13 & Fy'14 Roofing Preventative Maintenance Account	\$300,000.00	\$242,888.58	\$20,458.36	\$263,346.94
		don't Close Until Emily B Is Ready To				
Dfcm - Statewide Funds	<u>12123300</u>	Roofing Emergency Funding	\$419,532.55	\$8,500.00	\$0.00	\$8,500.00
University Of Utah	<u>12341750</u>	Univ Of Utah Performing Arts Reroof	\$233,281.00	\$144,388.75	\$3,135.00	\$147,523.75
Weber State University	<u>13005810</u>	Wsu Technical Education Bldg Reroof	\$905,850.00	\$30,742.26	\$18,745.00	\$49,487.26
Utah Valley University	<u>13030790</u>	Uvu Uccu Roof Replacement	\$602,824.00	\$19,394.98	\$294,658.35	\$314,053.33
Dnr - Parks & Recreation	<u>13038510</u>	Dnr Bullfrog Marina Ranger Station Duplex Reroof - Emergency Roofing Funds	\$57,300.00	\$55,656.62	\$772.50	\$56,429.12
Dept Of Transportation	<u>13067900</u>	Dot Logan Summit Building Reroof	\$65,000.00	\$3,750.00	\$0.00	\$3,750.00
Dnr - Wildlife Resources	<u>13111520</u>	Dwr Egan Hatchery Roofing	\$35,000.00	\$2,800.00	\$1,200.00	\$4,000.00
Utah State University	<u>13112610</u>	Usu Eastern Campus West Instructional Building Reroof	\$348,000.00	\$2,916.00	\$9,720.00	\$12,636.00
Snow College	<u>13127700</u>	Snow College Noyes Buildg Reroof	\$575,000.00	\$0.00	\$0.00	\$0.00
Salt Lake Comm College	<u>13131660</u>	Slcc Rrc Lifetime Activities Center Roof Replacement	\$1,124,000.00	\$833,680.86	\$2,042.86	\$835,723.72
Public Safety	<u>13145550</u>	Ogden Crime Lab Built-up Roof Replacement	\$103,000.00	\$5,720.00	\$0.00	\$5,720.00
Workforce Services	<u>13147920</u>	Dws Ogden South Roofing & Flashing System Replacement	\$181,000.00	\$5,785.00	\$0.00	\$5,785.00
Dnr - Wildlife Resources	<u>13178520</u>	Dwr Wahweap Bunk House Lower Reroof	\$63,000.00	\$2,000.00	\$700.00	\$2,700.00
Utah State University	<u>13187770</u>	Usu Hper Upper And Lower South Roof Replacement	\$864,000.00	\$26,302.80	\$4,295.00	\$30,597.80
Utah State University	<u>13189770</u>	Usu Campus Misc Roofing Projects, Bid Sale/pdp Roofing Improvements, Health/wellness Roof And Skylight Replacement	\$600,000.00	\$13,270.14	\$13,195.00	\$26,465.14
Dept Of Transportation	<u>13214900</u>	Dot Brigham City Rest Stop Reroof	\$37,000.00	\$2,960.00	\$1,444.00	\$4,404.00
Dixie St College Of Utah	<u>13217640</u>	Dixie State College Cox Auditorium Partial Reroof	\$237,000.00	\$10,510.50	\$4,810.58	\$15,321.08
Salt Lake Comm College	<u>13218660</u>	Slcc Meadowbrook Campus Bldg B Replace Roof	\$400,000.00	\$0.00	\$0.00	\$0.00
Southern Utah University	<u>13219730</u>	Suu Roof Fall Protection Anchors Phase I	\$80,000.00	\$4,146.00	\$552.25	\$4,698.25
Davis Atc	<u>13220220</u>	Davis Atc South East Section Of Roof Replacement	\$217,000.00	\$177,620.65	-\$39,375.52	\$138,245.13
Courts	<u>13221150</u>	Richfield Courts Bldg Flat Roof Replacement	\$217,000.00	\$12,780.00	\$233,621.00	\$246,401.00



State of Utah

Division of Facilities and Construction
Management

Statewide Roofing Projects

Fund Type = IMPROV ROOFING; From Date = 02/13/2014

Agency	Project	Project Description	Budget	Encumbrance		
				Prior	Current	Total
State Hospital	<u>13222420</u>	State Hospital Museum Excel House Reroof	\$39,000.00	\$0.00	\$0.00	\$0.00
Schools For Deaf & Blind	<u>13224230</u>	Salt Lake Libbie Edwards School For The Deaf & Blind Reroof	\$607,000.00	\$0.00	\$13,772.00	\$13,772.00
Dfcm - Statewide Funds	<u>13225300</u>	Fy'14 Roofing Seismic Program	\$150,000.00	\$0.00	\$0.00	\$0.00
Dept Of Transportation	<u>14003900</u>	Dot Tooele Salt Shed Emergency Replacement, Funded From Emergency Roofing Funds	\$151,554.00	\$0.00	\$0.00	\$0.00
Utah Valley University	<u>14009790</u>	Uvu Faculty Annex Bldg Roof Skylight Repairs	\$52,000.00	\$0.00	\$0.00	\$0.00
University Of Utah	<u>14010750</u>	Univ Of Utah Architecture Bldg Reroof	\$318,125.00	\$0.00	\$544.87	\$544.87
Snow College South	<u>14011710</u>	Snow Richfield Campus Washburn Bldg Roof Replacement Phase I And Trane A/c Unit Replacement	\$452,295.00	\$0.00	\$0.00	\$0.00
Southern Utah University	<u>14012730</u>	Suu Multipurpose Center Bldg Reroof	\$467,500.00	\$0.00	\$0.00	\$0.00
Corrections - Draper	<u>14034100</u>	Draper Prison Timpanogos Vt Bldg Reroof	\$34,467.00	\$0.00	\$0.00	\$0.00
Dixie St College Of Utah	<u>14116640</u>	Dixie State University Campus Services Bldg Reroof	\$75,000.00	\$0.00	\$0.00	\$0.00
Dixie St College Of Utah	<u>14117640</u>	Dixie State Univeristy Administration Building Reroof	\$135,637.00	\$0.00	\$0.00	\$0.00
Corrections - Ap&p	<u>14122120</u>	Fremont Ap&p Building Reroof	\$171,274.00	\$0.00	\$0.00	\$0.00
Corrections - Ap&p	<u>14122120</u>	Fremont Ap&p Building Reroof	\$171,274.00	\$0.00	\$0.00	\$0.00
Human Services	<u>14124400</u>	Hs/dfcm Cedar City Regional Building Reroof	\$46,610.00	\$0.00	\$0.00	\$0.00
Utah Valley University	<u>14143790</u>	Uvu Browning Admin Bldg Hall Of Flags Roof Drain Replacement	\$30,000.00	\$0.00	\$0.00	\$0.00
Average = \$274,782.66 39 Projects			\$10,716,523.55	\$1,621,657.90	\$661,291.25	\$2,282,949.15
Statewide Roofing Projects			Unencumbered Balance for Fund - 11204300			\$1,619,248.67



State of Utah

Division of Facilities and Construction Management

CP Construction Contract Status

Start Date = 03/18/2014; End Date = 05/16/2014; Agency = ALL; Manager = ALL; Contractor = ALL; Contract Type = CONST; Status Code = NOTICE TO PROCEED

Open Contracts



Agency	Project	Contract	Contract Name	Contract Type	Manager	Amount	Days	Left	% Paid	Sub-C
National Guard	12281480	137809	Camp Williams Boundary Fence	Const Remodel Notice To Proceed	Wayne Smith	\$421,410.00	76	-500	56.58%	
University Of Utah	10026750	117411	University Of Utah Eyring Chemistry Building Thatcher Addition Cm/gc	Const New Space Notice To Proceed	Rick James	\$18,083,691.13	658	-485	99.99%	
Dnr - Wildlife Resources	13247520	137877	Purchase Of Two Modular Buildings From The Utah Wildlife/conservation Foundation Utilizing Division Of Wildlife Resources Funding	Unclass Const Notice To Proceed	Wayne Christensen	\$70,000.00	5	-325	0.00%	
National Guard	12301480	147517	Tass Barracks Hvac Upgrade Re-commissioning Wayne Smith Jim Russell	Const Remodel Notice To Proceed	Wayne Smith	\$153,851.00	22	-259	45.30%	
Weber State University	12340810	147509	Weber State University Stadium Restroom And Breezeway Upgrades Tim Parkinson / Lynn Hinrichs	Const Remodel Notice To Proceed	Tim Parkinson	\$458,599.00	15	-232	98.45%	
National Guard	10281480	137879	Utah National Guard - Camp Williams Buildings 8050, 8060, 8070, 8080, 8090 Hazardous Materials Abatement Matthias Mueller Lynn Hinrichs	Haz Mat Const Notice To Proceed	Matthias Mueller	\$111,700.00	54	-228	0.00%	
Salt Lake Comm College	09024670	107073	Salt Lake Community College South City Campus Center For New Media -cm/gc	Const New Space Notice To Proceed	Jim Russell	\$44,766,275.00	1,533	-197	95.21%	
Ogden/weber A/c	12168240	137643	Owatec Culinary Arts Program Dock Area Improvements	Const Remodel Notice To Proceed	Tim Parkinson	\$514,116.97	62	-166	98.73%	7/8/13
National Guard	12285480	147599	Camp Williams 6000 Series Parking Improvements Wayne Smith Jim Russell	Const Remodel Notice To Proceed	Wayne Smith	\$612,480.00	44	-166	32.43%	
Courts	12177150	147603	Administrative Office Of The Courts Matheson Courts Security Surveillance Improvements Lucas Davis / Lynn Hinrichs	Const Remodel Notice To Proceed	Lucas Davis	\$78,142.20	53	-135	80.53%	
Public Safety	13145550	147647	Public Safety Ps Ogden Crime Lab Built Up Roof Replacement Matt Boyer	Roofing Notice To Proceed	Matt Boyer	\$80,000.00	15	-135	0.00%	
Courts	13245150	147643	Administrative Office Of The Courts Matheson Courthouse Water Heater Replacement Mike Ambre	Const Remodel Notice To Proceed	Michael Ambre	\$87,507.22	19	-134	83.28%	
Veterans Affairs	12344490	147576	Veterans Nursing Home Remodel Michael Ambre Jim Russell	Const Remodel Notice To Proceed	Michael Ambre	\$657,405.00	109	-118	35.76%	
National Guard	11315480	137599	Camp Williams Bldg 6150 Remodel	Const Remodel Notice To Proceed	Wayne Smith	\$461,128.00	228	-117	61.55%	9/26/13
National Guard	13047480	147573	Draper Complex Dpi Electrical And Mechanical Upgrade Wayne Smith Jim Russell	Const Remodel Notice To Proceed	Wayne Smith	\$252,613.00	116	-115	91.90%	
Davis A/c	13140220	147646	Davis Applied Technology College Dats Dental Suite Remodel Lucas Davis	Const Remodel Notice To Proceed	Lucas Davis	\$24,267.66	24	-105	96.56%	
National Guard	12302480	147571	Weest Jordan Aast Storm Drain Improvements Wayne Smith Jim Russell	Const Remodel Notice To Proceed	Wayne Smith	\$179,910.00	129	-104	45.36%	
Weber State University	13129810	147690	Wsu South Science Lab Irrigation Upgrades Tim K Parkinson	Const Remodel	Tim Parkinson	\$234,440.71	2	-89	50.35%	



State of Utah

Division of Facilities and Construction
Management

CP Construction Contract Status

Start Date = 03/18/2014; End Date = 05/16/2014; Agency = ALL; Manager = ALL; Contractor = ALL; Contract Type = CONST; Status Code = NOTICE TO PROCEED

Open Contracts



Agency	Project	Contract	Contract Name	Contract Type	Manager	Amount	Days	Left	% Paid	Sub-C
				Notice To Proceed						
National Guard	11295480	127232	Camp Williams 10 Land 25 Meter Zero Range	Const Remodel Notice To Proceed	Wayne Smith	\$542,852.00	329	-88	96.38%	11/26/12
Dnr - Wildlife Resources	12342520	147512	Dwr Egan Fish Hatchery Raceway Cover Bicknel Bob Anderson Jim Russell	Const New Space Notice To Proceed	Bob Anderson	\$2,183,554.00	199	-83	91.52%	
Utah Valley University	13069790	147644	Utah Valley University Woodbury Business Bldg Transformer Brian Bales	Const Remodel Notice To Proceed	Brian Bales	\$168,190.00	66	-77	37.76%	
National Guard	13053480	147521	St George Fms Hvac Upgrade Wayne Smith Jim Russell	Const Remodel Notice To Proceed	Wayne Smith	\$93,455.67	192	-76	98.59%	
National Guard	13326480	147591	Camp Williams Jltc 6 Wayne Smith Jim Russell	Const New Space Notice To Proceed	Wayne Smith	\$707,661.00	151	-76	63.63%	
Health	12068390	147692	Department Of Human Services Cannon Health Building Carpet Tile Removal And Asbestos Abatement Bob Anderson	Haz Mat Const Notice To Proceed	Timothy Christensen	\$49,893.00	-74	-76	0.00%	
Alcoholic Beverage Contrl	14006030	147700	Isf Contract Abc Store 16 Packaged Rooftop Replacement	Const Remodel Notice To Proceed	Scott Whitney	\$19,713.00	17	-76	0.00%	
Human Services	13064400	147651	Department Of Human Services Vernal Dhs Building Restroom Improvements Darrell Hunting	Const Remodel Notice To Proceed	Dwight Palmer	\$125,297.00	79	-69	0.00%	
Corrections - Draper	12176100	147558	Wasatch Culinary Floor Replace Wayne Smith Jim Russell	Const Remodel Notice To Proceed	Wayne Smith	\$447,010.40	176	-54	84.94%	
National Guard	12288480	147600	Jacobs Canal Enclosure Wayne Smith Jim Russell	Const Remodel Notice To Proceed	Wayne Smith	\$1,098,198.67	158	-62	98.78%	
Utah State University	12003770	127522	Utah State University Athletics Strength And Conditioning Center Cm/gc	Const New Space Notice To Proceed	Darrell Hunting	\$5,076,540.43	369	-61	98.90%	7/1/13
Utah Valley University	10289790	127625	Student Life Center & Parking Structure	Const New Space Notice To Proceed	Kurt Baxter	\$46,884,787.00	640	-60	98.13%	
National Guard	12291480	137593	Camp Williams Live Fire Shoot House	Const Remodel Notice To Proceed	Wayne Smith	\$550,000.00	257	-58	98.92%	8/27/13
Southern Utah University	13162730	147645	Southern Utah University Simplex Grinnel Fire Alarm Separation Brian Bales	Const Remodel Notice To Proceed	Brian Bales	\$141,940.97	64	-58	0.00%	
Capitol Preservation Bd	11153310	137555	Capitol Video Security System Upgrade	Const Remodel Notice To Proceed	Brian Bales	\$292,373.81	549	-57	92.78%	



State of Utah

Division of Facilities and Construction Management

CP Construction Contract Status

Start Date = 03/18/2014; End Date = 05/16/2014; Agency = ALL; Manager = ALL; Contractor = ALL; Contract Type = CONST; Status Code = NOTICE TO PROCEED

Open Contracts



Agency	Project	Contract	Contract Name	Contract Type	Manager	Amount	Days	Left	% Paid	Sub-C
Davis Atc	13220220	147542	Datc Roof Replacement Phase Ii Matt Boyer Jim Russell	Roofing Notice To Proceed	Matt Boyer	\$179,000.00	86	-53	92.35%	1/27/14
National Guard	12304480	147536	St. George Mi Scif Addition Wayne Smith Jim Russell	Const Remodel Notice To Proceed	Wayne Smith	\$684,741.80	210	-52	96.81%	
National Guard	12242480	137598	Camp Williams Wind Turbine Connection	Const Remodel Notice To Proceed	Wayne Smith	\$581,549.45	538	-46	99.23%	
National Guard	13322480	147592	Camp Williams Bldg 5170 Secure Classroom Addition Wayne Smith Jim Russell	Const Remodel Notice To Proceed	Wayne Smith	\$689,360.84	164	-46	99.29%	
Corrections - Draper	13301100	147670	Dept. Of Corrections Draper Water Heater And Heat Exchanger Replacement Craig Wessman	Const Remodel Notice To Proceed	Craig Wessman	\$202,186.00	76	-46	2.47%	
Davis Atc	13205220	147630	Datc Ahu Replacement Ph I Lucas Davis	Const Remodel Notice To Proceed	Lucas Davis	\$277,321.00	112	-45	55.22%	
Snow College South	13166710	147659	Snow College Richfield Exterior Lighting Retrofit 13166710 Brent Lloyd, Pm	Const Remodel Notice To Proceed	Brent Lloyd	\$20,120.00	91	-45	18.27%	
Courts	13135150	147658	Administrative Office Of The Courts Layton Second District Court Fire Alarm, Hot Water Heater And Hvac Upgrades Tim K Parkinson	Const Remodel Notice To Proceed	Tim Parkinson	\$142,955.00	67	-42	69.53%	
Corrections - Draper	13303100	147577	Doc Draper - Warden's Administration Bldg. Boiler Installation Craig Wessman Jim Russell	Const Remodel Notice To Proceed	Craig Wessman	\$106,024.00	77	-41	84.68%	1/29/14
Natural Resources	13312500	147594	Dnr New Building Replace Boilers Craig Wessman Jim Russell	Const Remodel Notice To Proceed	Craig Wessman	\$173,953.79	184	-36	0.00%	
Southern Utah University	13219730	147713	Suu Roof Fall Protection Phase I Matt Boyer	Roofing Notice To Proceed	Matt Boyer	\$95,800.00	41	-36	0.00%	
Courts	13195150	147636	Administrative Office Of The Courts Brigham City First District Court Boiler And Controls Upgrades Tim Parkinson	Const Remodel Notice To Proceed	Tim Parkinson	\$141,712.00	126	-35	92.56%	
National Guard	13054480	147522	St George Armory Hvac Upgrade Wayne Smith Jim Russell	Const Remodel Notice To Proceed	Wayne Smith	\$394,691.34	239	-30	95.63%	
Workforce Services	13320920	147696	Department Of Workforce Services Dws Administration Building Fire Alarm Replacement Michael Ambre	Const Remodel Notice To Proceed	Michael Ambre	\$147,272.28	63	-28	0.00%	
Workforce Services	11096920	137754	Dws Metro Office Replace Rooftop Hvac Units	Const Remodel Notice To Proceed	Craig Wessman	\$226,883.00	105	-27	96.37%	8/13/13
Courts	12181150	147649	Administrative Office Of The Courts West Jordan Courts Security Area Hvac Lucas Davis	Const Remodel Notice To Proceed	Lucas Davis	\$47,250.00	58	-27	92.12%	3/27/14



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Open Contracts



Agency	Project	Contract	Contract Name	Contract Type	Manager	Amount	Days	Left	% Paid	Sub-C
Public Safety	13211550	147674	Department Of Public Safety Farmington Public Safety Building Emergency Generator Improvements Lucas Davis	Const Remodel Notice To Proceed	Lucas Davis	\$44,815.00	69	-27	60.25%	4/23/14
State Hospital	11065420	137840	Department Of Human Services Utah State Hospital Building Consolidation	Const New Space Notice To Proceed	Kurt Baxter	\$25,587,041.00	511	-24	96.26%	
Southern Utah University	12134730	147546	Suu Centrum Arena Chiller & Cooling Tower Replacement Craig Wessman Jim Russell	Const Remodel Notice To Proceed	Craig Wessman	\$679,054.44	232	-21	80.61%	
Workforce Services	13147920	147662	Dws Dws Ogden Reroof Matt Boyer	Roofing Notice To Proceed	Matt Boyer	\$140,000.00	109	-18	0.00%	
Corrections - Ap&p	12066120	147729	Department Of Corrections Orange Street And Nuccc Ap&p Centers Waste And Water Repairs Taylor Maxfield	Const Remodel Notice To Proceed	Taylor Maxfield	\$17,522.00	24	-17	0.00%	5/5/14
National Guard	11279480	137595	Air National Guard Hangar Remodal And Seismic Upgrade	Const Remodel Notice To Proceed	Wayne Smith	\$2,866,057.55	576	-16	97.74%	
National Guard	13250480	147593	Camp Williams Bldg 6170 Mechanical And Electriupgrade Wayne Smith Jim Russell	Const Remodel Notice To Proceed	Wayne Smith	\$163,449.00	197	-16	95.39%	
Courts	13221150	147632	Richfield Court Reroof Matt Boyer	Const Remodel Notice To Proceed	Matt Boyer	\$257,114.00	149	-16	90.35%	
Ogden/weber Atc	13194240	147657	Utah College Of Applied Technology Ogden Weber Atc Hvac And Controls Upgrades Tim Parkinson	Const Remodel Notice To Proceed	Tim Parkinson	\$261,300.00	120	-16	70.98%	
Dfcm - Managed Buildings	13209310	147688	Dfcm Ogden Regional Center Restroom Upgrades Tim K Parkinson	Const Remodel Notice To Proceed	Tim Parkinson	\$262,066.00	85	-16	42.05%	
Dept Of Transportation	13214900	147703	Utah Department Of Transportation Udot Brigham City Welcome Center Reroof Lucas Davis	Const Remodel Notice To Proceed	Lucas Davis	\$48,500.00	58	-16	0.00%	
State Hospital	13173420	147785	Department Of Human Services Utah State Hospital Paving Improvements - Phase Iii Brent Lloyd	Paving Notice To Proceed	Brent Lloyd	\$107,174.93	-7	-16	0.00%	
Workforce Services	13319920	147697	Department Of Workforce Services Dws/heber Wells Parking Drain Line Replacement Michael Ambre	Const Remodel Notice To Proceed	Michael Ambre	\$121,387.00	77	-14	42.14%	
Southern Utah University	11186730	147556	Southern Utah University Sherratt Library Ada Path Of Travel Improvements Brian Bales Kurt Baxter	Const Site Imp Notice To Proceed	Brian Bales	\$282,276.90	143	-11	91.55%	2/27/14
Utah Valley University	13163790	147611	Utah Valley University Campus Walkway Lighting Improvements Brian Bales	Const Site Imp Notice To Proceed	Brian Bales	\$103,790.00	99	-7	87.00%	3/6/14
Bridgerland Atc	13102210	147686	Ucat - Bridgerland Atc Wireless Access Control System Improvements Darrell Hunting	Const Remodel Notice To Proceed	Darrell Hunting	\$437,530.18	94	-7	75.12%	



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Open Contracts



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Dfcm - Statewide Funds	13080300	147769	Dixie State University, Nisson Towers Emergency Asbestos Abatement From Water Damage Bob Anderson	Haz Mat Const Notice To Proceed	Bob Anderson	\$17,859.00	24	-7	0.00%	
Snow College	13104700	147673	Snow College, Ephraim Irrigation Central Control Upgrades Bob Anderson	Const Site Imp Notice To Proceed	Bob Anderson	\$123,169.87	104	-5	51.25%	5/6/14
Courts	12271150	137806	Administrative Office Of The Courts New Juab County 4th Judicial District Courthouse	Design Build Notice To Proceed	Brian Bales	\$2,723,192.78	287	-4	99.10%	2/18/14
Dnr - Wildlife Resources	12320520	147583	Dwr Fountain Green Fish Hatchery, Warm Water Pilot Project Bob Anderson Jim Russell	Const Remodel Notice To Proceed	Bob Anderson	\$174,066.00	162	-4	99.12%	3/18/14
Uintah Basin Atc	13062250	147653	Uintah Basin Interior Ada Door Improvements Construction Contract Darrell Hunting	Const Remodel Notice To Proceed	Dwight Palmer	\$36,802.50	115	-4	0.00%	
Fairpark	11092370	147682	Fairpark Maintenance Bldg. - Door Security Upgrades Taylor Maxfield	Const Remodel Notice To Proceed	Taylor Maxfield	\$22,302.00	77	-4	0.00%	
National Guard	12299480	147523	Camp Williams Running Track Wayne Smith Jim Russell	Const Remodel Notice To Proceed	Wayne Smith	\$624,054.93	260	-1	7.61%	
Southern Utah University	13106730	147668	Southern Utah University Suu Centrum Loading Ramp Replacement Brian Bales	Const Site Imp Notice To Proceed	Brian Bales	\$141,568.00	96	-1	98.79%	4/16/14
Dfcm - Managed Buildings	12249310	147759	Unified Lab 3rd Floor Office Addition Joanna Reese	Const Remodel Notice To Proceed	Jake Jacobson	\$23,581.00	38	-1	0.00%	
University Of Utah	09131750	117347	University Of Utah Beverley Taylor Sorensen Arts/education Complex Cm /gc	Const New Space Notice To Proceed	Rick James	\$29,426,453.00	1,039	0	97.60%	1/31/14
Veterans Affairs	11059490	127347	Department Of Veterans' Affairs Utah County Nursing Home Design/build	Const New Space Notice To Proceed	Jim Russell	\$17,889,940.00	504	0	99.87%	5/23/13
Weber State University	11008810	127441	Weber State University Residential Halls Building 3 Cm/gc	Const New Space Notice To Proceed	Matthias Mueller	\$9,230,328.88	490	0	97.74%	7/17/13
National Guard	13084480	147575	Draper Complex Chiller Upgrade Wayne Smith Jim Russell	Const Remodel Notice To Proceed	Wayne Smith	\$1,218,669.00	232	0	84.98%	
National Guard	12293480	147597	West Jordan Armory Kitchen Remodel Wayne Smith Jim Russell	Const Remodel Notice To Proceed	Wayne Smith	\$341,431.13	210	0	34.33%	
Corrections - Ap&p	13149120	147608	Bonneville Ap&p Center Offender Restroom Remodel And Water Heaters Replacement Taylor Maxfield Jim Russell	Const Remodel Notice To Proceed	Taylor Maxfield	\$177,997.37	162	0	95.16%	4/10/14
Juvenile Justice Services	12189430	147620	Dji Southwest Utah Youth Center Remodel Dwight Palmer Kurt Baxter	Const Remodel Notice To Proceed	Dwight Palmer	\$1,196,771.00	151	0	51.63%	



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Corrections - Draper	14022100	147744	Department Of Corrections Draper Prison - Lone Peak Facility South Dryer Room - Emergency Repairs Taylor Maxfield	Const Remodel Notice To Proceed	Taylor Maxfield	\$18,336.00	36	0	0.00%	
Utah State University	12339770	137707	Utah State University Athletics Competition And Training Facility Cm/gc	Const New Space Notice To Proceed	Darrell Hunting	\$8,123,430.35	412	1	74.45%	4/14/14
Salt Lake Comm College	12093660	147595	Sloc Atc Bldg. Restroom Remodels Craig Wessman Jim Russell	Const Remodel Notice To Proceed	Craig Wessman	\$301,904.00	108	1	99.29%	1/30/14
Dnr - Parks & Recreation	13038510	147601	Division Of Parks And Recreation Bullfrog Marina Ranger Station Housing Roofing Improvements Dwight Palmer/ Kurt Baxter	Roofing Notice To Proceed	Dwight Palmer	\$49,600.00	32	1	93.75%	11/21/13
Davis Atc	13335220	147634	Datc Culinary Arts Remodel Ph I Lucas Davis	Const Remodel Notice To Proceed	Lucas Davis	\$122,263.83	50	1	90.55%	2/6/14
Fairpark	13097370	147712	Utah State Fairpark Fairpark Pioneer Bldg Hvac Upgrades Taylor Maxfield	Const Remodel Notice To Proceed	Taylor Maxfield	\$18,087.00	39	1	80.00%	4/10/14
Utah Valley University	13030790	147513	Utah Valley University Uccu Event Center - Reroof Matt Boyer	Roofing Notice To Proceed	Matt Boyer	\$380,818.00	50	2	77.38%	4/28/14
Salt Lake Comm College	13131660	147541	Sloc Lac Reroof Matt Boyer Jim Russell	Roofing Notice To Proceed	Matt Boyer	\$798,238.49	132	2	98.73%	1/21/14
Dfcm - Managed Buildings	13092310	147665	Dfcm Heber Wells Parking Structure Upgrade Exhaust Fans Taylor Maxfield	Const Remodel Notice To Proceed	Taylor Maxfield	\$49,924.00	71	3	0.00%	3/18/14
Schools For Deaf & Blind	13377230	147747	Utah Schools For Deaf And Blind Temporary Classrooms - Relocation And Remodel David Mckay	Const Remodel Notice To Proceed	Dave Mckay	\$96,843.00	25	4	0.00%	
Schools For Deaf & Blind	13377230	147748	Utah School For Deaf And Blind Temporary Classrooms--sitework And Decking David Mckay	Const Remodel Notice To Proceed	Dave Mckay	\$93,860.00	49	4	37.29%	
Dnr - Parks & Recreation	13372510	147684	Dnr Jordanelle State Park Rehab Phase 1 Brian Bales	Const Site Imp Notice To Proceed	Brian Bales	\$579,491.48	104	5	28.05%	
Courts	13182150	147740	Administrative Office Of The Courts Tooele Front Counter Remodel Lucas V. Davis	Const Remodel Notice To Proceed	Lucas Davis	\$24,687.00	58	6	0.00%	
Dfcm - Statewide Funds	13080300	147774	Dixie State University, Nisson Towers Emergency Asbestos Abatement Bob Anderson	Haz Mat Const Notice To Proceed	Bob Anderson	\$12,363.00	15	6	0.00%	
Health	12188390	147669	Dept. Of Health Cannon Health Bldg. Upgrade Fire Rated Corridor Doors Craig Wessman	Const Remodel Notice To Proceed	Craig Wessman	\$231,971.79	134	7	29.49%	
Dnr - Parks & Recreation	13176510	147737	Division Of Parks & Recreation Fremont Indian State Park - Paving Improvements Brent Lloyd	Paving Notice To Proceed	Brent Lloyd	\$118,413.00	43	7	0.00%	



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Salt Lake Comm College	13088670	147790	Salt Lake Community College South City Campus - North Wing Restrooms Lead Reduction And Interior Demolition Bob Anderson	Haz Mat Const Notice To Proceed	Taylor Maxfield	\$48,895.00	23	7	0.00%	
Courts	13154150	147650	Administrative Office Of The Courts Spanish Fork Courts Clerks Counter Dwight Palmer	Const Remodel Notice To Proceed	Dwight Palmer	\$27,008.00	160	12	0.00%	
Weber State University	13115810	147564	Weber State University Campus Services Building - Remodel Tim Parkinson / Lynn Hinrichs	Const Remodel Notice To Proceed	Tim Parkinson	\$852,948.42	120	14	98.75%	1/16/14
Utah State University	13189770	147587	Utah State University Bid Sale / Pdp Building Roofing Improvements Darrell Hunting / Lynn Hinrichs	Roofing Notice To Proceed	Darrell Hunting	\$96,089.00	217	14	0.00%	
National Guard	13148480	147598	Vernal Fms Remodel Wayne Smith Jim Russell	Const Remodel Notice To Proceed	Wayne Smith	\$622,509.57	234	14	56.34%	
Bridgeland Atc	13102210	147689	Ucat - Batic Generator Improvements Main & West Campus Darrell Hunting	Const Remodel Notice To Proceed	Darrell Hunting	\$167,342.64	95	14	19.46%	
Tax Commission	13313310	147698	Division Of Facilities Construction & Management Utah State Tax Commission Building - Hvac Upgrades Craig Wessman	Const Remodel Notice To Proceed	Craig Wessman	\$373,396.00	99	14	0.00%	
Dnr - Parks & Recreation	13101510	147717	Dnr - Parks And Recreation Goblin Valley State Park Main Water Tank Dwight Palmer	Const Remodel Notice To Proceed	Dwight Palmer	\$78,000.00	81	14	0.00%	
Courts	13253150	147731	Administrative Office Of The Courts Price Courts Clerical And Security Upgrade Dwight Palmer	Const Remodel Notice To Proceed	Dwight Palmer	\$32,704.00	66	14	0.00%	
Davis Atc	11081220	147776	Davis Applied Technology College Datic It Area Remodel, Phase Ii Lucas Davis	Const Remodel Notice To Proceed	Lucas Davis	\$31,457.00	29	14	0.00%	
Public Safety	13210550	147782	Department Of Public Safety Farmington Ps Dld/uhp Parking Lot Improvements Lucas Davis	Paving Notice To Proceed	Lucas Davis	\$58,209.00	29	14	0.00%	
National Guard	14109480	147801	Utah National Guard Camp Williams Running Track Retaining Wall Improvements Wayne Smith	Const Remodel Notice To Proceed	Wayne Smith	\$125,000.00	16	14	0.00%	
National Guard	13316480	147602	Camp Williams South Garrison Infrastructure Ph I Wayne Smith Jim Russell	Const Remodel Notice To Proceed	Wayne Smith	\$1,682,670.15	235	15	62.14%	
Alcoholic Beverage Contrl	12062030	147705	Department Of Alcoholic Beverage Control Abc Store #35 Entry Vestibule Addition Tim Christensen	Const Remodel Notice To Proceed	Timothy Christensen	\$78,200.00	96	15	0.00%	
Southern Utah University	12218730	147721	Southern Utah University Center For The Arts, Eight Buildings & Structures Asbestos Abatement For Demolition Bob Anderson/kurt Baxter	Haz Mat Const Notice To Proceed	Kurt Baxter	\$91,633.00	67	16	0.00%	4/30/14
Dfcm - Managed Buildings	12249310	147738	Clearfield Human Services Magnetic Door Holds Joanna Reese	Const Remodel Notice To Proceed	Jake Jacobson	\$24,880.00	68	16	0.00%	



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Dixie St College Of Utah	13217640	147613	Dsu Cox Auditorium Reroof Matt Boyer	Roofing Notice To Proceed	Matt Boyer	\$153,800.00	90	21	0.00%	4/10/14
Courts - Juvenile Courts	13251150	147732	Administrative Office Of The Courts Orem Fourth District Courts Hvac Controls Upgrade Dwight Palmer	Const Remodel Notice To Proceed	Dwight Palmer	\$28,000.00	63	21	0.00%	
Courts	13248150	147642	Matheson Courthouse Reception Area Remodel Mike Ambre	Const Remodel Notice To Proceed	Michael Ambre	\$116,771.00	181	23	19.41%	
Dfcm - Managed Buildings	12185310	147624	Gov's Mansion West Porch Seismic Improvements Mike Ambre Jim Russell	Const Remodel Notice To Proceed	Michael Ambre	\$13,164.00	197	25	93.92%	
Southern Utah University	13161730	147652	Southern Utah University Medium Voltage Power Upgrade Phase 1 Brian Bales	Const Site Imp Notice To Proceed	Brian Bales	\$214,000.00	154	28	65.34%	
Dnr - Parks & Recreation	13099510	147708	Division Of Parks And Recreation Rockport State Park Main Culinary Water Line Replacement Taylor Maxfield	Const Remodel Notice To Proceed	Taylor Maxfield	\$61,600.00	101	28	0.00%	
Agriculture	13119010	147761	Utah Department Of Agriculture & Food Door Hardware Upgrades Tim Christensen	Const Remodel Notice To Proceed	Timothy Christensen	\$87,510.00	60	29	0.00%	
Dept Of Technology Serv	13329310	147745	Department Of Technology Services Richfield Data Center - Breaker Panel Improvements Brian Bales	Const Remodel Notice To Proceed	Brian Bales	\$9,810.00	75	33	0.00%	
Dfcm - Managed Buildings	12185310	147648	Division Of Facilities Construction And Management Governor's Mansion West Porch Seismic Improvements Mike Ambre	Const Remodel Notice To Proceed	Michael Ambre	\$276,473.05	184	35	29.98%	
Dnr - Wildlife Resources	13368520	147787	Division Of Wildlife Nash Wash Solar System Repair Bianca Shama Waiting For Vendor Info	Const Remodel Notice To Proceed	Bianca Shama	\$35,000.00	44	35	0.00%	
Dfcm - Managed Buildings	13108310	147640	Dfcm Regional Center Building #2 Elevator Modernization Bob Anderson	Const Remodel Notice To Proceed	Bob Anderson	\$47,563.67	76	43	30.54%	3/18/14
Dixie Atc	13169290	147706	Utah College Of Applied Technology Dixie Atc - Old St. George Airport Terminal Remodel Brent Lloyd	Const Remodel Notice To Proceed	Brent Lloyd	\$628,000.00	122	45	6.27%	
Dnr - Parks & Recreation	12334510	147718	Division Of Parks And Recreation Wasatch Mountain State Park Water Line Replacement Brent Lloyd	Const Site Imp Notice To Proceed	Brent Lloyd	\$176,461.40	110	45	0.00%	
Corrections - Cucf	13170110	147730	Department Of Corrections Central Utah Correctional Facility Paving Improvements Brent Lloyd	Paving Notice To Proceed	Brent Lloyd	\$204,895.15	67	45	0.00%	
Developmental Center	13172410	147733	Department Of Human Services Utah State Developmental Center Paving Improvements Brent Lloyd	Const Site Imp Notice To Proceed	Brent Lloyd	\$60,739.34	81	45	0.00%	
National Guard	13365470	147734	Utah National Guard Orem Armory Paving Improvements Brent Lloyd	Const Site Imp Notice To Proceed	Brent Lloyd	\$50,680.00	95	45	0.00%	



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Dfcm - Statewide Funds	12107300	147759	Southern Utah University Pe Parking Lot Paving Slurry Repair Brent Lloyd	Paving Notice To Proceed	Brent Lloyd	\$24,959.30	76	45	0.00%	
Weber State University	13128810	147767	Weber State University Medium Voltage Upgrades Phase Ii Tim K Parkinson	Const Remodel Notice To Proceed	Tim Parkinson	\$428,594.00	67	45	0.00%	
Dept Of Transportation	14029310	147775	Motor Carrier Hvac Remodel Joanna Reese	Const Remodel Notice To Proceed	Scott Whitney	\$63,036.00	70	45	0.00%	
Dnr - Parks & Recreation	14023510	147784	Division Of Parks And Recreation Jordanelle State Park - Hailstone Marina Boat Parking Paving Improvements Brent Lloyd	Paving Notice To Proceed	Brent Lloyd	\$130,830.18	54	45	0.00%	
Dfcm - Managed Buildings	12249310	147746	Capitol Hill Install Electrical Car Charging Stations In Public Parking Joanna Reese	Const Remodel Notice To Proceed	Jake Jacobson	\$21,575.00	85	46	0.00%	
Uintah Basin Atc	13061250	147768	Uintah Basin Atc Dust Collection And Exhaust System Dwight Palmer	Const Remodel Notice To Proceed	Dwight Palmer	\$105,106.00	46	46	0.00%	
Dnr - Wildlife Resources	13178520	147783	Department Of Natural Resources Dwr Wahweap Ranger Houseing Reroof Dwight Palmer	Const Site Imp Notice To Proceed	Dwight Palmer	\$28,661.00	63	48	0.00%	
Courts	13253150	147663	Administrative Office Of The Courts Price Courts Clerical And Security Upgrades Dwight Palmer	Const Remodel Notice To Proceed	Dwight Palmer	\$18,145.76	126	62	0.00%	3/27/14
Human Services	13327400	147819	Department Of Human Service Dspd Group Homes Repairs Dwight Palmer	Const Remodel Notice To Proceed	Dwight Palmer	\$24,794.00	63	63	0.00%	
Dept Of Transportation	13125900	147789	Utah Department Of Transportation Rampton Complex - Paving Improvements Phase Iii Brent Lloyd	Paving Notice To Proceed	Brent Lloyd	\$238,512.40	72	70	0.00%	
Human Services	13063400	147751	Department Of Human Services Vernal Dhs Building Hvac And Bas Controls Replacement Dwight Palmer	Const Remodel Notice To Proceed	Dwight Palmer	\$168,780.00	102	74	0.00%	
State Hospital	13081420	147635	Utah State Hospital Laundry Storage Bldg Brian Bales	Const New Space Notice To Proceed	Brian Bales	\$512,559.71	240	75	0.00%	
National Guard	13342480	147606	Utah National Guard Draper Headquarters Solar Pv Roof Installation John Harrington	Design Build Notice To Proceed	John Harrington	\$666,400.00	276	76	85.00%	
Weber State University	13339810	147739	Weber State University Wsu University Village Reroof Tim K Parkinson	Const Remodel Notice To Proceed	Tim Parkinson	\$644,762.00	114	76	0.00%	
Dfcm - Managed Buildings	12249310	147765	Sound Proofing Deq South Side Windows Joanna Reese	Const Remodel Notice To Proceed	Jake Jacobson	\$20,938.00	101	76	0.00%	
Utah Valley University	13150790	147728	Utah Valley University Campus Wide Paving Improvements Brent Lloyd	Const Remodel Notice To Proceed	Brent Lloyd	\$501,606.60	133	77	0.00%	



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Snow College	13168700	147736	Snow College Ephraim Campus Lucy Phillips Building - Parking Lot Reconstruction Brent Lloyd	Paving Notice To Proceed	Brent Lloyd	\$181,078.85	113	77	0.00%	
Snow College South	13165710	147766	Snow College Richfield Campus Snow College Richfield Hvac/vfd Upgrade Brent Lloyd	Const Remodel Notice To Proceed	Brent Lloyd	\$210,640.00	100	77	0.00%	
Utah State University	13189770	147802	Usu Wellness Center Roofing Improvements Utah State University Darrell Hunting	Roofing Notice To Proceed	Darrell Hunting	\$351,100.00	80	77	0.00%	
Utah State University	13187770	147742	Utah State University Hper Upper And Lower South Roof Replacement Darrell Hunting	Roofing Notice To Proceed	Darrell Hunting	\$625,710.00	129	91	0.00%	
Salt Lake Comm College	13088670	147803	Sicc Sicc South City Campus North Wing Main Bldg Restroom Remodel And Interior Water Line Replacement Taylor Maxfield	Const Remodel Notice To Proceed	Taylor Maxfield	\$409,980.00	94	91	0.00%	
Dnr - Wildlife Resources	13362520	147655	Dnr - Dwr Fes New Zealand Mud Snail Control Darrell Hunting	Const Site Imp Notice To Proceed	Darrell Hunting	\$82,610.00	135	95	0.00%	1/31/14
University Of Utah	08258750	097499	Uu Ls Skaggs Pharmacy Research Building	Const New Space Notice To Proceed	Rick James	\$63,998,853.30	1,440	97	99.28%	3/4/13
Weber State University	13005810	147772	Wsu Technical Education Building Reroof & Seismic Upgrade Matt Boyer	Roofing Notice To Proceed	Matt Boyer	\$1,062,300.00	119	97	0.00%	
Fairpark	13355370	147757	Utah State Fairpark State Fairpark Barns Life Safety Structural Upgrades Taylor Maxfield	Const Remodel Notice To Proceed	Taylor Maxfield	\$1,995,813.00	142	98	0.00%	
Mountainland Atc	14007260	147793	Utah College Of Applied Technology Mountainland Atc Geneva Building Remodel Phase 3 Brian Bales	Const Remodel Notice To Proceed	Brian Bales	\$554,039.00	116	107	0.00%	
Weber State University	12338810	147622	Weber State University Public Safety Building Tim Parkinson Lynn Hinrichs	Const New Space Notice To Proceed	Tim Parkinson	\$3,159,618.75	285	108	46.19%	
University Of Utah	11160750	127515	University Of Utah University Of Utah Healthcare Center Ambulatory Care Center And Parking Structure Cm/gc	Const New Space Notice To Proceed	Dave Mckay	\$31,229,117.00	864	115	93.48%	
Dixie St College Of Utah	13236640	147749	Dixie State University New Boiler For The Campus Heating System Craig Wessman	Const Remodel Notice To Proceed	Craig Wessman	\$673,363.00	162	126	0.00%	
Dept Of Transportation	14003900	147695	Udot Tooele Salt Shed Emergency Replacement Matt Boyer	Roofing Notice To Proceed	Matt Boyer	\$131,615.00	258	167	0.00%	
Dnr - Forest Fire St Land	12315500	147714	Department Of Natural Resources Northern Utah Interagency Fire Dispatch Cache Building Brian Bales	Const New Space Notice To Proceed	Brian Bales	\$544,350.00	244	167	0.00%	
National Guard	10281480	137861	Utah National Guard Bachelor Enlisted Quarters Facility Matthias Mueller Lynn Hinrichs	Const New Space Notice To Proceed	Matthias Mueller	\$14,915,400.00	448	168	35.94%	



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Open Contracts



Agency	Project	Contract	Contract Name	Contract Type	Manager	Amount	Days	Left	% Paid	Sub-C
Snow College	13164700	147763	Snow College - Ephraim Campus Humanities Building - Hvac Upgrades Brent Lloyd	Const Remodel Notice To Proceed	Brent Lloyd	\$454,500.00	200	168	0.00%	
Dept Of Transportation	13109900	147639	Udot Cal Rampton Complex Elevator Modernization Bob Anderson	Const Remodel Notice To Proceed	Timothy Christensen	\$498,155.00	353	189	0.00%	
Dept Of Transportation	12335900	147707	Utah Department Of Transportation Salina Maintenance Station Brent Lloyd	Design Build Notice To Proceed	Brent Lloyd	\$2,259,671.00	263	192	3.54%	
Utah Valley University	12192790	137871	Utah Valley University New Classroom Building Kurt Baxter	Const New Space Notice To Proceed	Kurt Baxter	\$41,781,891.13	519	197	36.99%	
Corrections - Cuct	12084110	137865	Department Of Corrections Central Utah Correctional Facility Staff Intercom Upgrades Jim Russell	Const Remodel Notice To Proceed	Bob Anderson	\$93,722.42	279	222	87.36%	8/21/13
University Of Utah	08015750	147504	University Of Utah George S. Eccles Student Life Center Construction Rick James Jim Russell	Const New Space Notice To Proceed	Rick James	\$40,568,079.00	510	222	46.83%	
Salt Lake Comm College	13044660	147676	Salt Lake Community College - Redwood Road Campus East And West Chiller Plants New Chiller Controls Sequencing John Burningham	Const Remodel Notice To Proceed	John Burningham	\$48,215.00	271	229	0.00%	
University Of Utah	12042750	127609	University Of Utah Electrical And High Temperature Water Utility Distribution Upgrade - Cm/gc	Unclass Const Notice To Proceed	Jim Russell	\$34,162,405.00	926	230	75.04%	
University Of Utah	12075750	137725	University Of Utah School Of Dentistry - Cm/gc ~ Dave Mckay ~	Const New Space Notice To Proceed	Dave Mckay	\$26,565,728.00	598	230	34.29%	
Weber State University	11077810	127003	Weber State University - Davis Campus Professional Classroom Building And Central Plant - Cm/gc	Const New Space Notice To Proceed	Matthias Mueller	\$31,977,073.56	1,013	291	96.43%	6/28/13
National Guard	11020480	137862	Utah National Guard - Camp Williams Rti Tass Complex Phase 2 Matthias Mueller / Lynn Hinrichs	Const New Space Notice To Proceed	Matthias Mueller	\$27,110,916.00	568	293	23.69%	
Salt Lake Comm College	10036660	127406	Salt Lake Community College Redwood Road Campus Instructional/ administrative Building	Const New Space Notice To Proceed	Jim Russell	\$30,530,831.00	890	305	94.81%	9/24/13
Courts	08284150	147633	Administrative Office Of The Courts Ogden Second District Juvenile Court Lynn Hinrichs	Const New Space Notice To Proceed	Matthias Mueller	\$28,135,313.00	485	310	18.54%	
University Of Utah	13042750	147566	U Of U Basketball Training Center Jim Russell	Const New Space Notice To Proceed	Michael Ambre	\$45,000.00	634	395	0.00%	
Utah State University	13050770	147581	Utah State University Student Recreation And Wellness Center Cm/gc Lynn Hinrichs	Const New Space Notice To Proceed	Darrell Hunting	\$76,827.00	622	410	48.81%	
Utah State University	11194770	127525	Utah State University Huntsman School Of Business Addition Cm/gc	Const New Space Notice To Proceed	Darrell Hunting	\$36,150,706.40	1,284	535	20.75%	



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Open Contracts



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Dixie St College Of Utah	06297640	117343	Dixie State College Holland Centennial Commons - Construction	Const New Space Notice To Proceed	Kurt Baxter	\$33,022,720.40	1,185	730	96.80%	5/23/12

Count: 178

Open Contracts

\$699,468,320.89

Closed Contracts



Agency	Project	Contract	Contractor Name	Contract Type	Manager	Amount	Days	Left	% Paid	Sub-C
Dnr - Parks & Recreation	08085510	117011	Culp Construction Company	Const Remodel	Darrell Hunting	\$1,786,575.03	331	-1,064	100.00%	
Dnr - Parks & Recreation	08085510	117391	Landmark Companies Inc	Const Site Imp	Darrell Hunting	\$123,747.31	59	-1,097	100.00%	
Courts	08065150	117289	Commercial Mechanical Systems & Service	Const Remodel	Tim Parkinson	\$335,517.54	405	-21	100.00%	3/29/12
Courts	09065150	137502	Commercial Mechanical Systems & Service	Const Remodel	Tim Parkinson	\$1,052,671.27	337	-152	100.00%	11/13/11
Capitol Preservation Bd	09156050	137814	Commercial Mechanical Systems & Service	Const Remodel	Craig Wessman	\$349,076.00	139	4	100.00%	9/26/13
Mountainland Atc	09163260	127628	North Ridge Construction	Const Remodel	Brian Bales	\$40,000.00	17	-54	100.00%	8/24/12
Mountainland Atc	09163260	137520	North Ridge Construction	Const Remodel	Brian Bales	\$591,850.90	116	-631	100.00%	
Salt Lake Comm College	09229660	117565	Chevron Energy Solutions Company	Unclass Const	John Birmingham	\$7,591,832.00	855	-15	100.00%	11/15/11
Dfcm - Managed Buildings	10135310	117195	Millcreek Tile & Stone	Paving	Brent Lloyd	\$22,920.00	179	-1,111	100.00%	
Dfcm - Managed Buildings	10135310	127319	Kevin D. Allen & Associates	Const Remodel	Brent Lloyd	\$13,256.60	2	-897	100.00%	
Dfcm - Managed Buildings	10135310	137848	Crc Construction Inc	Paving	Brent Lloyd	\$334,691.58	198	92	100.00%	9/19/13
Weber State University	10176810	127014	Okland Construction Company, Inc.	Const New Space	Matthias Mueller	\$16,907,652.00	354	0	100.00%	7/21/12
National Guard	10218480	127196	C K Construction & Services Corp	Const Remodel	Wayne Smith	\$708,365.14	208	-755	100.00%	
Capitol Preservation Bd	10221050	127581	North Ridge Construction	Const Remodel	Michael Ambre	\$5,309,675.28	599	36	100.00%	12/6/13
National Guard	10271480	127172	Saunders Construction Inc	Const Remodel	Wayne Smith	\$411,030.38	204	-765	100.00%	
National Guard	10274480	127202	Tod R Packer Heating & Air Conditioning	Const Remodel	Wayne Smith	\$264,880.06	130	-831	100.00%	



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Closed Contracts



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Snow College	10290700	117531	Hogan & Assoc Construction Inc	Const New Space	Kurt Baxter	\$14,921,225.39	435	-639	100.00%	
Snow College	10290700	127011	Rocmont Industrial Corp	Haz Mat Const	Kurt Baxter	\$11,775.00	13	-1,020	100.00%	
Snow College	10290700	127501	Rocmont Industrial Corp	Haz Mat Const	Kurt Baxter	\$18,102.00	15	-766	100.00%	
Snow College	10290700	127647	Rocmont Industrial Corp	Haz Mat Const	Kurt Baxter	\$12,907.40	41	-654	100.00%	
Snow College	11046700	127363	Rocmont Industrial Corp	Haz Mat Const	Kurt Baxter	\$49,275.00	6	-836	100.00%	
Corrections - Draper	11051100	127101	Sr Mechanical	Const Remodel	Taylor Maxfield	\$319,585.00	75	0	100.00%	10/31/11
Corrections - Draper	11051100	137554	Intermountain Boiler Company	Const Remodel	Taylor Maxfield	\$27,510.00	44	-252	100.00%	7/11/13
Corrections - Draper	11085100	137574	Sr Mechanical	Const Remodel	Brian Bales	\$29,138.00	50	-51	100.00%	1/11/13
Courts	11091150	127530	Delta Fire Systems Inc	Const Remodel	Lucas Davis	\$306,778.00	165	-9	100.00%	10/24/11
Fairpark	11093370	137578	Allied Construction And Development	Const Remodel	Taylor Maxfield	\$137,423.85	21	-563	100.00%	
Weber State University	11098810	137746	Carson Plumbing & Mechanical Inc	Const Remodel	Tim Parkinson	\$481,789.51	247	-166	100.00%	
Weber State University	11104810	127470	Ralph Tye & Sons Inc	Const Remodel	Tim Parkinson	\$283,818.00	102	-63	100.00%	8/31/12
Utah Valley University	11130790	147514	Wade Payne Construction Inc	Const Remodel	Brent Lloyd	\$75,557.42	109	-167	100.00%	
Dept Of Transportation	11140900	127422	Kilgore Paving & Maintenance	Paving	Brent Lloyd	\$290,604.62	107	-61	100.00%	8/15/12
Dept Of Transportation	11140900	137778	Morgan Pavement Maintenance dba Morgan Pavement	Paving	Brent Lloyd	\$187,081.28	275	-120	100.00%	
Veterans Affairs	11142490	127451	Post Construction Co Inc	Paving	Brent Lloyd	\$79,615.55	37	-3	100.00%	5/21/12
Capitol Preservation Bd	11177050	127219	Entelen Design - Build	Const Remodel	Michael Ambre	\$294,958.24	164	-784	100.00%	
State Hospital	11190420	127537	Country Wide Builders	Const Remodel	Taylor Maxfield	\$174,598.31	116	-613	100.00%	
Juvenile Justice Services	11253430	137501	Bma Construction & Development Llc	Const Remodel	Craig Wessman	\$212,055.25	139	15	100.00%	11/27/11
National Guard	11298480	137506	Brubaker Construction Inc	Const Remodel	Wayne Smith	\$448,979.54	120	-538	100.00%	
National Guard	11300480	127231	Mw Construction Inc	Const Remodel	Wayne Smith	\$708,434.34	301	-655	100.00%	
National Guard	11301480	127221	C K Construction & Services Corp	Const Remodel	Wayne Smith	\$236,561.57	183	-254	100.00%	12/10/11
National Guard	11302480	127222	C K Construction & Services Corp	Const Remodel	Wayne Smith	\$163,697.23	97	-861	100.00%	
National Guard	11311480	137509	Staker & Parson Companies	Paving	Wayne Smith	\$170,777.13	90	-26	100.00%	11/26/11
Utah Valley University	11317790	137859	Hogan & Assoc Construction Inc	Const New Space	Michael Ambre	\$3,516,623.59	112	15	100.00%	9/16/13
National Guard	12007480	137551	Benstog Construction Corp	Const Remodel	Wayne Smith	\$58,082.00	49	-26	100.00%	11/26/11



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Closed Contracts



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National Guard	12008480	127507	Utah Yamas Controls Corp	Const Remodel	Wayne Smith	\$77,940.00	106	22	100.00%	6/28/12
National Guard	12009470	127541	Koh Mechanical Contractors Inc	Const Remodel	Wayne Smith	\$681,580.70	462	289	100.00%	10/15/11
National Guard	12020480	137583	Mw Construction Inc	Const Remodel	Wayne Smith	\$269,208.45	234	3	100.00%	5/28/12
National Guard	12022470	127542	Chad Husband Construction Inc	Const Remodel	Wayne Smith	\$445,520.49	102	-24	100.00%	8/24/12
Courts	12025150	127572	Acme Construction	Const Remodel	Wayne Smith	\$258,003.30	139	-598	100.00%	
Salt Lake Comm College	12047670	137508	Chad Husband Construction Inc	Const Remodel	Brian Bales	\$44,400.40	33	-38	100.00%	9/27/12
Corrections - Draper	12051100	137521	Skyline Electric Inc	Const Remodel	Brian Bales	\$26,000.00	105	-12	100.00%	12/12/11
Corrections - Admin	12053120	137826	Vfc	Const Remodel	Brian Bales	\$38,820.00	48	-92	100.00%	10/31/11
Corrections - Draper	12054100	137615	Khi Mechanical	Const Remodel	Brian Bales	\$24,944.00	233	-6	100.00%	6/5/13
Juvenile Justice Services	12058430	137641	Skyline Electric Inc	Const Remodel	Brian Bales	\$47,989.00	100	-11	100.00%	4/8/13
Corrections - Ap&p	12067120	147519	Utah Correctional Industries	Const Remodel	Taylor Maxfield	\$90,338.57	16	45	100.00%	10/8/12
Public Safety	12070550	137846	Commercial Mechanical Systems & Service	Const Remodel	Lucas Davis	\$60,619.00	89	-37	100.00%	10/3/12
Alcoholic Beverage Contrl	12080030	137825	Environmental Abatement Inc	Haz Mat Const	Bob Anderson	\$27,349.25	18	-340	100.00%	
Corrections - Cucf	12083110	137683	Sr Mechanical	Const Remodel	Bob Anderson	\$459,799.00	353	-17	100.00%	3/4/14
Dfcm - Statewide Funds	12107300	137560	Preferred Paving	Paving	Brent Lloyd	\$0.00	33	-578	0.00%	
Dfcm - Statewide Funds	12107300	137635	Kevin D. Allen & Associates	Paving	Brent Lloyd	\$8,444.00	32	-530	100.00%	
Ogden/Weber Alc	12111240	137739	Utah Correctional Industries	Roofing	Matt Boyer	\$60,000.00	20	-75	100.00%	7/15/12
Dfcm - Managed Buildings	12124310	147534	Morgan Pavement Maintenance dba Morgan Pavement	Paving	Brent Lloyd	\$57,641.57	5	-45	100.00%	
Courts	12136150	137750	Broderick & Henderson Construction Lc	Const Remodel	Brent Lloyd	\$186,770.44	142	1	100.00%	8/27/12
Dept Of Transportation	12148900	137733	Caputo Overhead Door Service	Const Remodel	Michael Ambre	\$13,413.00	42	-3	100.00%	5/3/13
Courts	12156150	137569	Commercial Mechanical Systems & Service	Const Remodel	Tim Parkinson	\$69,375.00	192	-31	100.00%	5/2/13
Board Of Education	12158200	137660	Commercial Mechanical Systems & Service	Const Remodel	Timothy Christensen	\$367,549.15	331	-26	100.00%	12/4/12
Weber State University	12165810	137691	Power Electric Company	Const Remodel	Tim Parkinson	\$355,722.35	202	-46	100.00%	10/4/12
Dfcm - Managed Buildings	12184310	137773	Taylor Electric Inc.	Const Remodel	Michael Ambre	\$15,187.00	60	22	100.00%	5/16/12
Salt Lake Comm College	12195660	137772	New Star General Contractors	Const Remodel	Lucas Davis	\$73,296.00	81	-18	100.00%	7/18/12



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Closed Contracts



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Salt Lake Comm College	12196660	137775	Pentalon Construction Inc.	Const Remodel	Lucas Davis	\$44,980.00	80	-32	100.00%	8/1/13
Dnr - Parks & Recreation	12204510	137737	Utah Correctional Industries	Roofing	Matt Boyer	\$31,000.00	20	-75	100.00%	7/15/13
National Guard	12208480	137590	Staker & Parson Companies	Paving	Wayne Smith	\$446,974.00	44	-205	100.00%	6/24/13
National Guard	12210470	137516	Eagle Environmental Inc	Haz Mat Const	Bob Anderson	\$159,471.00	32	-595	100.00%	
National Guard	12220480	137582	Tod R Packer Heating & Air Conditioning	Const Remodel	Wayne Smith	\$75,284.00	59	-531	100.00%	
National Guard	12243480	137584	Broderick & Henderson Construction Lc	Const Remodel	Wayne Smith	\$401,704.45	142	-89	100.00%	5/29/13
National Guard	12243480	137644	Rocmont Industrial Corp	Haz Mat Const	Wayne Smith	\$34,000.00	29	-516	100.00%	
National Guard	12243480	137645	Rocmont Industrial Corp	Haz Mat Const	Wayne Smith	\$27,912.81	14	-531	100.00%	
Dfcm - Managed Buildings	12249310	137511	Mhi Services, Inc.	Const Remodel	Jake Jacobson	\$17,950.00	22	-624	0.00%	
Dfcm - Managed Buildings	12249310	137524	Birmingham Painting	Const Remodel	Jake Jacobson	\$20,500.00	27	-592	0.00%	
Dfcm - Managed Buildings	12249310	137531	Ehp Construction Inc	Const Remodel	Jake Jacobson	\$28,382.00	45	-592	0.00%	
Dfcm - Managed Buildings	12249310	137540	Vision Blind & Shutter / Dba Lance Anast	Const Remodel	Jake Jacobson	\$14,587.00	93	-530	0.00%	
Dfcm - Managed Buildings	12249310	137545	Sbs Architectural Building Supply	Const Remodel	Jake Jacobson	\$27,452.00	36	-524	0.00%	
Dfcm - Managed Buildings	12249310	137546	Vortex Colorado Inc	Const Remodel	Jake Jacobson	\$11,677.00	74	-531	0.00%	
Dfcm - Managed Buildings	12249310	137547	The Painter Inc	Const Remodel	Jake Jacobson	\$35,491.50	30	-593	0.00%	
Dfcm - Managed Buildings	12249310	137549	Beehive Glass	Const Remodel	Jake Jacobson	\$22,136.00	30	-593	0.00%	
Dfcm - Managed Buildings	12249310	137572	Trane Services	Const Remodel	Jake Jacobson	\$94,982.00	60	-531	0.00%	
Dfcm - Managed Buildings	12249310	137619	Thyssenkrupp Elevator Corporation	Const Remodel	Jake Jacobson	\$9,790.00	10	-546	0.00%	
Dfcm - Managed Buildings	12249310	137626	Brett Woods Construction Inc	Const Remodel	Jake Jacobson	\$21,500.00	31	-530	0.00%	
Dfcm - Managed Buildings	12249310	137637	Whitaker Custom Woodworking	Const Remodel	Jake Jacobson	\$26,008.36	23	-531	0.00%	
Dfcm - Managed Buildings	12249310	137654	Ralph Tye & Sons Inc	Const Remodel	Jake Jacobson	\$16,132.00	39	-489	0.00%	
Dfcm - Managed Buildings	12249310	137679	Rueckert Construction Company	Const Remodel	Jake Jacobson	\$49,420.00	57	-427	0.00%	
Dfcm - Managed Buildings	12249310	137694	Rueckert Construction Company	Const Remodel	Jake Jacobson	\$26,571.00	45	-427	0.00%	
Dfcm - Managed Buildings	12249310	137697	Daw Construction Group Llc	Const Remodel	Jake Jacobson	\$15,284.00	31	-427	0.00%	
Dfcm - Managed Buildings	12249310	137698	Rueckert Construction Company	Const Remodel	Jake Jacobson	\$25,196.00	36	-423	0.00%	
Dfcm - Managed Buildings	12249310	137722	Alarm Control Company	Const Remodel	Jake Jacobson	\$21,721.39	66	-350	0.00%	
Dfcm - Managed Buildings	12249310	137727	Chad Husband Construction Inc	Const Remodel	Jake Jacobson	\$10,897.00	35	-396	0.00%	



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Dfcm - Managed Buildings	12249310	137732	Rueckert Construction Company	Const Remodel	Jake Jacobson	\$15,100.00	74	-350	0.00%	
Dfcm - Managed Buildings	12249310	137741	Mechanical Service & Systems I	Const Remodel	Jake Jacobson	\$16,685.00	66	-350	0.00%	
Dfcm - Managed Buildings	12249310	137782	Chad Husband Construction Inc	Const Remodel	Jake Jacobson	\$10,270.00	48	-352	0.00%	
Dfcm - Managed Buildings	12249310	137793	Red Leaf Design	Const Remodel	Jake Jacobson	\$9,820.00	36	-350	0.00%	
Dfcm - Managed Buildings	12249310	137799	Rueckert Construction Company	Const Remodel	Jake Jacobson	\$43,600.00	36	-350	0.00%	
Dfcm - Managed Buildings	12249310	137820	Atkinson Electronics Inc	Const Remodel	Jake Jacobson	\$17,445.00		-351	0.00%	
Dfcm - Managed Buildings	12249310	147540	Sif Electrical Services	Const Remodel	Jake Jacobson	\$12,370.00	14	-228	0.00%	
Dfcm - Managed Buildings	12249310	147693	Daw Construction Group Llc	Const Remodel	Jake Jacobson	\$19,501.00	44	-42	0.00%	
National Guard	12263480	137573	Csm Construction Inc	Paving	Wayne Smith	\$79,340.00	65	-531	100.00%	
National Guard	12272480	137591	Peerless Electric Lic	Const Remodel	Wayne Smith	\$27,973.00	29	-166	100.00%	5/16/13
National Guard	12277480	137606	Keller Construction Inc	Const Remodel	Wayne Smith	\$740,999.80	272	-305	100.00%	
National Guard	12282480	137592	Sr Mechanical	Const Remodel	Wayne Smith	\$162,519.18	94	-31	100.00%	2/19/13
National Guard	12283480	137607	Utah Correctional Industries	Const Remodel	Wayne Smith	\$180,000.00	60	-516	100.00%	
National Guard	12306480	137876	Wade Payne Construction Inc	Const Remodel	Wayne Smith	\$171,393.20	83	-228	100.00%	
National Guard	12312480	137605	Utah Correctional Industries	Const Remodel	Wayne Smith	\$240,000.00	60	-155	100.00%	5/20/13
National Guard	13014470	147518	Rueckert Construction Company	Const Remodel	Wayne Smith	\$101,020.00	68	-29	100.00%	11/13/11
National Guard	13024480	137802	Patriot Construction	Const Remodel	Wayne Smith	\$87,346.00	77	-289	100.00%	
Public Safety	13041550	147579	Rod Lewis Construction Llc	Const Remodel	Lucas Davis	\$43,348.00	79	-19	100.00%	1/7/14
Dfcm - Managed Buildings	13075080	147551	Mechanical Service & Systems I	Const Remodel	Michael Ambre	\$173,979.00	73	-174	100.00%	
Dcc - Division Of Arts	13076080	147667	Paulsen Construction	Const Remodel	Michael Ambre	\$39,982.00	50	18	100.00%	2/10/14
National Guard	13085480	147572	Wade Payne Construction Inc	Const Remodel	Wayne Smith	\$165,511.20	76	-151	100.00%	
National Guard	13118480	137878	Van Con Inc.	Const Remodel	Wayne Smith	\$453,412.55	65	-268	100.00%	
Schools For Deaf & Blind	13123230	147616	Taylor Electric Inc.	Const Remodel	Timothy Christensen	\$23,745.00	31	-146	100.00%	
Ogden/Weber Atc	13133240	147618	Perkes Roofing Inc	Roofing	Tim Parkinson	\$20,610.00	25	-9	100.00%	12/10/11
Natural Resources	13183500	147615	Rod Lewis Construction Lic	Const Remodel	Timothy Christensen	\$46,636.00	116	30	100.00%	1/29/14



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Closed Contracts



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Utah State University	13188770	147588	North Face Roofing Inc	Roofing	Darrell Hunting	\$247,028.00	68	0	100.00%	12/9/13	
Tax Commission	13197310	147560	Staker & Parson Companies	Paving	Timothy Christensen	\$174,766.29	32	-32	100.00%	11/26/13	
Schools For Deaf & Blind	13200230	147538	Advanced Paving & Construction	Paving	Lucas Davis	\$107,135.80	43	6	100.00%	10/24/13	
National Guard	13241480	147574	Csm Construction Inc	Const Remodel	Wayne Smith	\$85,539.50	54	-45	100.00%	1/14/14	
Corrections - Draper	14021100	147723	Chilcote Engineering	Const Remodel	Jim Russell	\$78,740.00	80	14	100.00%		
		Count: 124	Closed Contracts				\$68,174,424.01				